

## **DEVELOPMENT VARIANCE PERMIT**

Application / File No.: 0067-24-DVP-END

To: Mathew Isabelle  
Champlain Holdings Inc.

Address: 704 Cliff Avenue, Enderby BC

1. This Development Variance Permit is issued in accordance with the provisions of Section 498 of the Local Government Act and subject to compliance with all of the Bylaws of the City of Enderby applicable thereto, except as specifically varied by this permit.
2. This Development Variance Permit applies to and only to those lands within the City of Enderby described below, and any and all buildings, structures, and other development thereon:

Legal Description:

LOT 1 DISTRICT LOT 150 KAMLOOPS (FORMERLY OSOYOOS)  
DIVISION YALE DISTRICT  
PLAN EPP115678

PID:

031-940-846

Civic Address:

704 Cliff Avenue, Enderby BC

3. City of Enderby Zoning Bylaw No. 1550, 2014 is hereby supplemented or varied as follows:
  - Section 309.3.a.i by not requiring a 2 m (6.562 foot) landscaped buffer area along the southern property boundary where it abuts a residential lot, as shown on the attached Schedule 'A';
  - Section 401.2 by increasing the maximum number of principal buildings on the lot from 1 to 2, as shown on the attached Schedule 'A';
  - Section 401.3 by increasing the minimum floor area for a two-bedroom dwelling unit from 45 m<sup>2</sup> (484.4 square feet) to 44.59 m<sup>2</sup> (480 square feet), as shown on the attached Schedule 'A';
  - Section 401.3 by permitting the gross floor area of dwelling units located on the first storey level and entirely behind the commercial use to exceed the gross floor area of the commercial use on the first storey level, as shown on the attached Schedule 'A';
  - Section 401.10.c by reducing the minimum rear yard setback from 6 m (19.68 feet) to 1.5 m (4.92 feet), as shown on the attached Schedule 'A';

- Section 401.11.d.iii by permitting dwelling units to be located in a standalone building, as shown on the attached Schedule 'A';
  - Section 901.2.a by reducing the minimum length for an off-street parking space from 6 m (19.68 feet) to 5.5 m (18.04 feet), as shown on the attached Schedule 'A';
  - Section 901.2.b by reducing the minimum width of an unobstructed maneuvering aisle for right angle parking from 8 m (26.25 feet) to 7 m (22.97 feet), as shown on the attached Schedule 'A'; and
  - Section 901.3 by reducing the minimum number of off-street parking spaces from 11 to 9, as shown on the attached Schedule 'A'.
4. City of Enderby Subdivision Servicing and Development Bylaw No. 1278, 2000 is hereby supplemented or varied as follows: **N/A**
  5. Requirements, conditions or standards applicable to Section 491 of the Local Government Act: **N/A**
  6. As a condition of the issuance of this Permit, the Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Permittee and be paid to the Permittee if the security is returned. The condition of the posting of the security is that should the Permittee fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City of Enderby may use the security to carry out the work by its servants, agents, or contractors, and any surplus shall be paid over to the Permittee, or should the Permittee carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Permittee. There is filed accordingly:
    - a. a Bearer Bond in the amount of \$ **N/A**; or
    - b. a Performance Bond in a form acceptable to the City of Enderby in the amount of \$ **N/A**; or
    - c. an Irrevocable Letter of Credit in the amount of \$ **N/A**; or
    - d. a certified cheque in the amount of \$ **N/A**.
  7. The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
  8. If the Permittee does not commence the development permitted by this Permit within two (2) years of the date of issuance of this Permit, this Permit shall lapse.
  9. This Permit is not a Building Permit.

AUTHORIZING RESOLUTION PASSED BY COUNCIL THE    DAY OF    , 2024.  
ISSUED THIS    DAY OF    , 2024.

\_\_\_\_\_  
Corporate Officer

NOTICE OF PERMIT:

Issued	
Amended	
Cancelled	

Filed with the Land Title Office this    day of    , 2024.

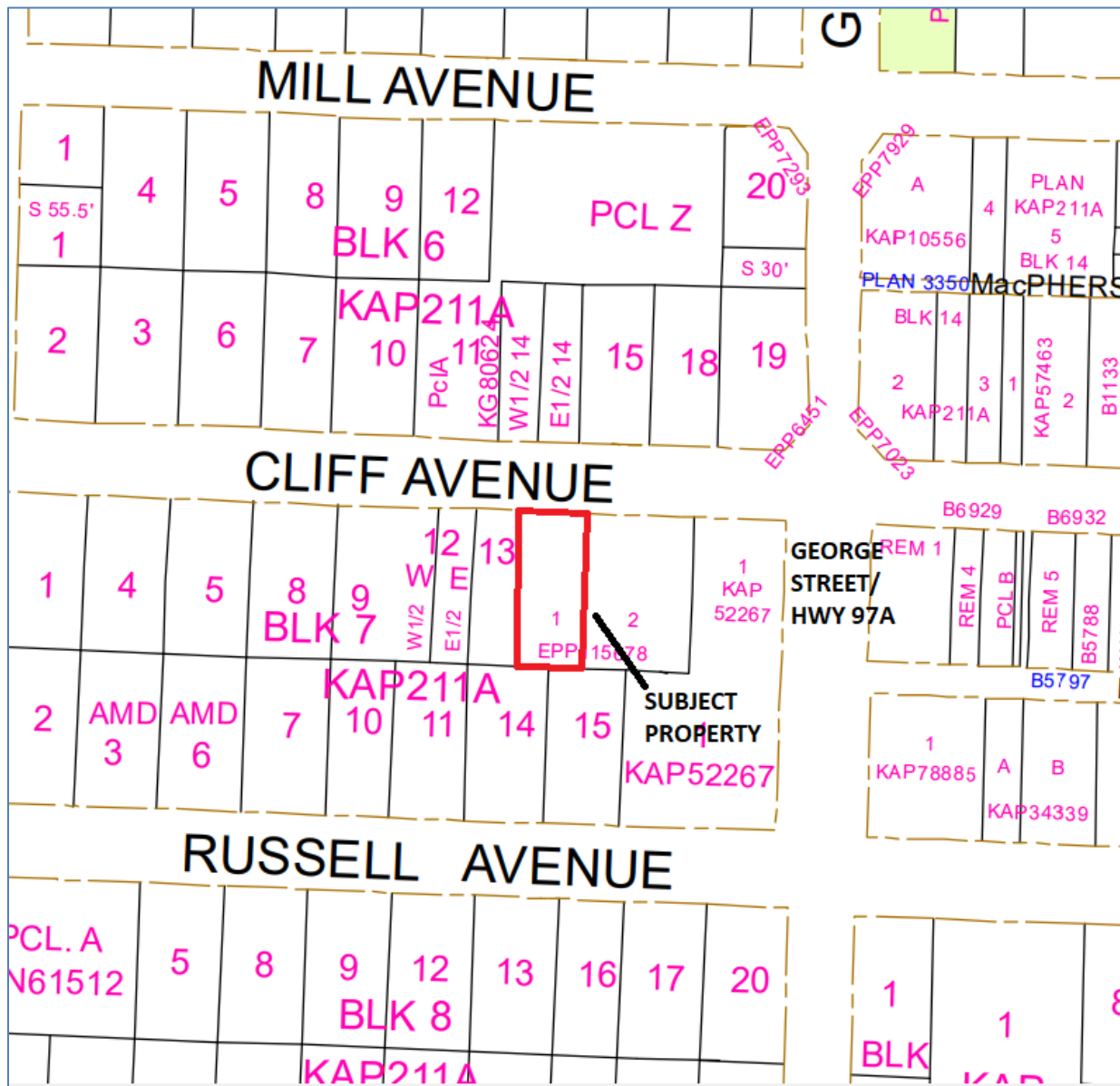
THE CORPORATION OF THE CITY OF ENDERBY  
DEVELOPMENT VARIANCE PERMIT APPLICATION  
SUBJECT PROPERTY MAP

File: 0067-24-DVP-END (Isabelle)

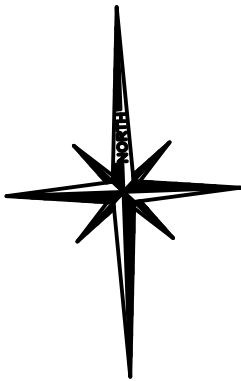
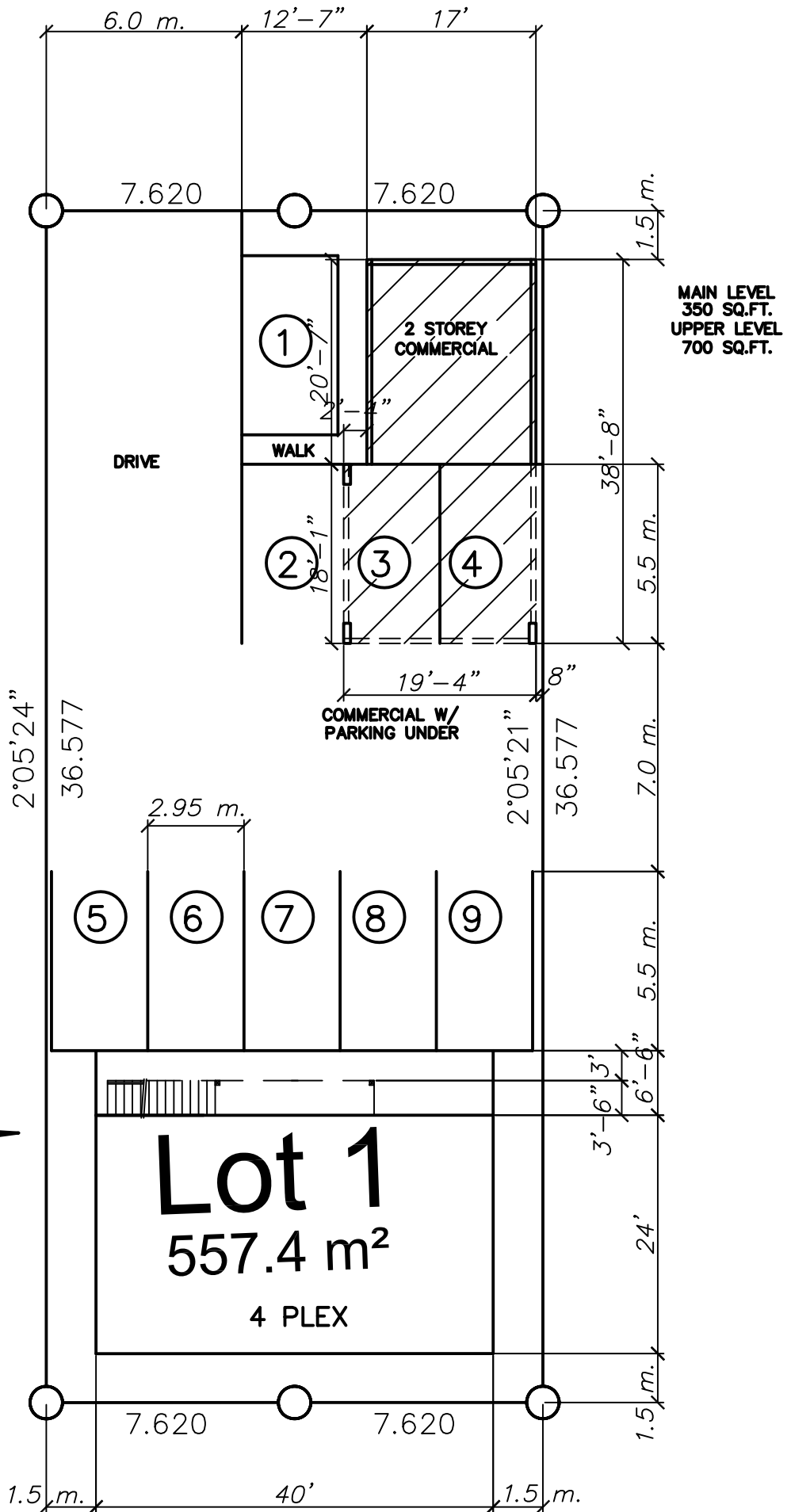
Applicant: Mathew Isabelle

Owner: Champlain Holdings Inc.

Location: 704 Cliff Avenue, Enderby BC



# Schedule A

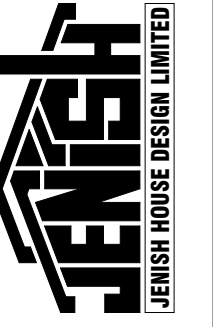






HEAD OFFICE:  
201-1658 COMMERCE AVE  
KELOWNA, B.C., V1X 8A9  
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# JENISH HOUSE DESIGN LIMITED



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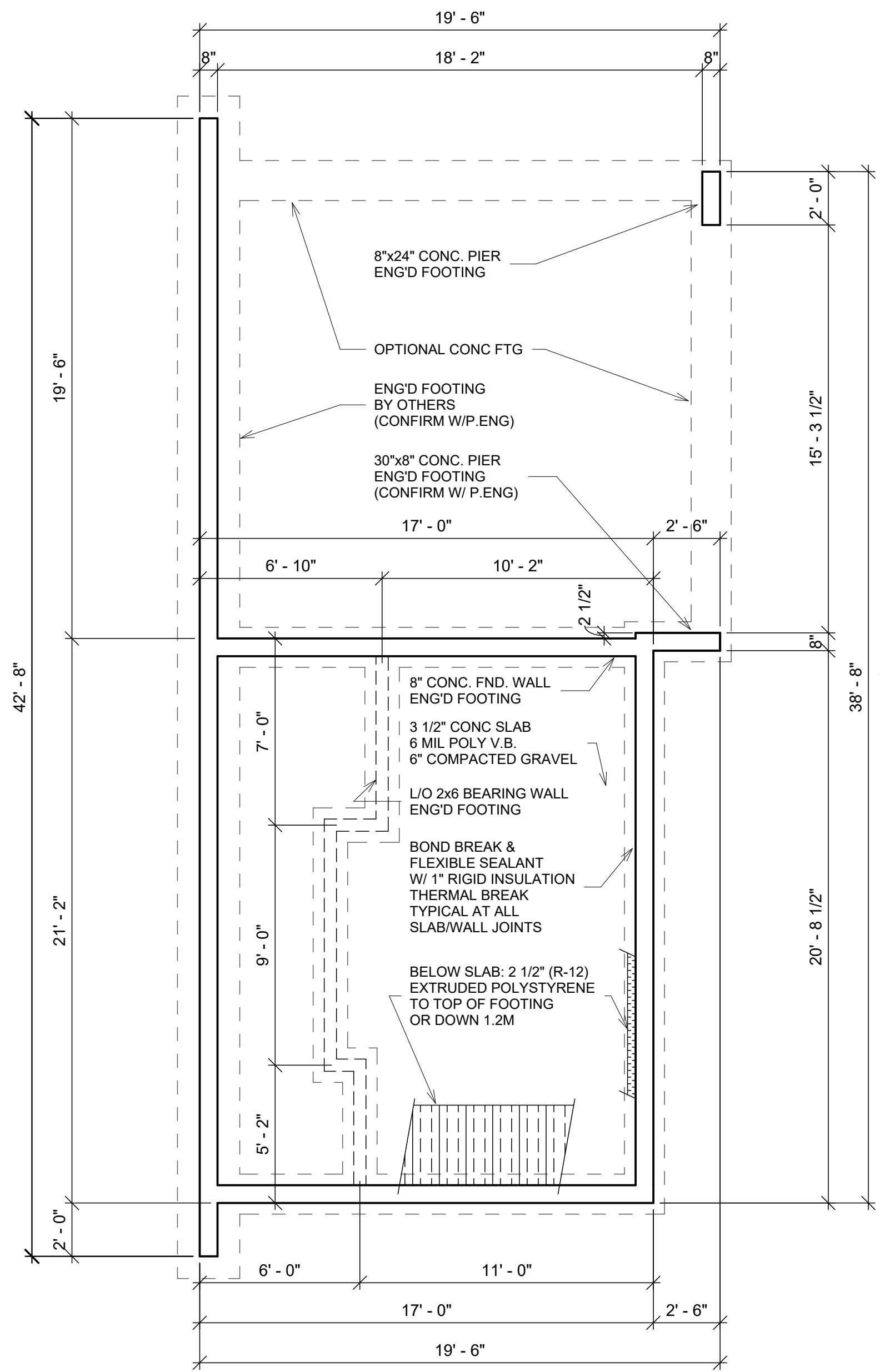
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PLAN NUMBER:  
C8-2-115

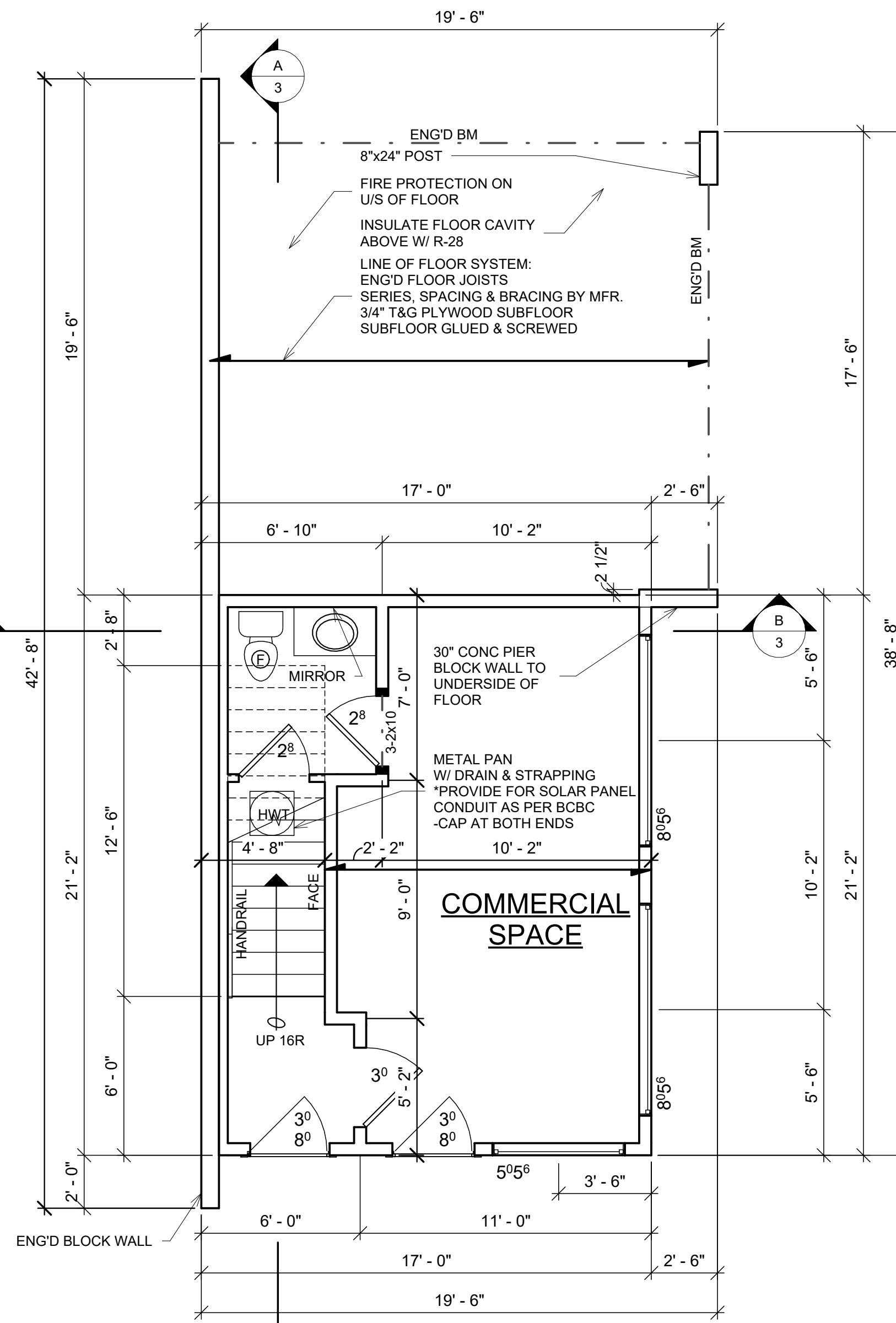




**FOUNDATION PLAN**

1/4" = 1'-0"

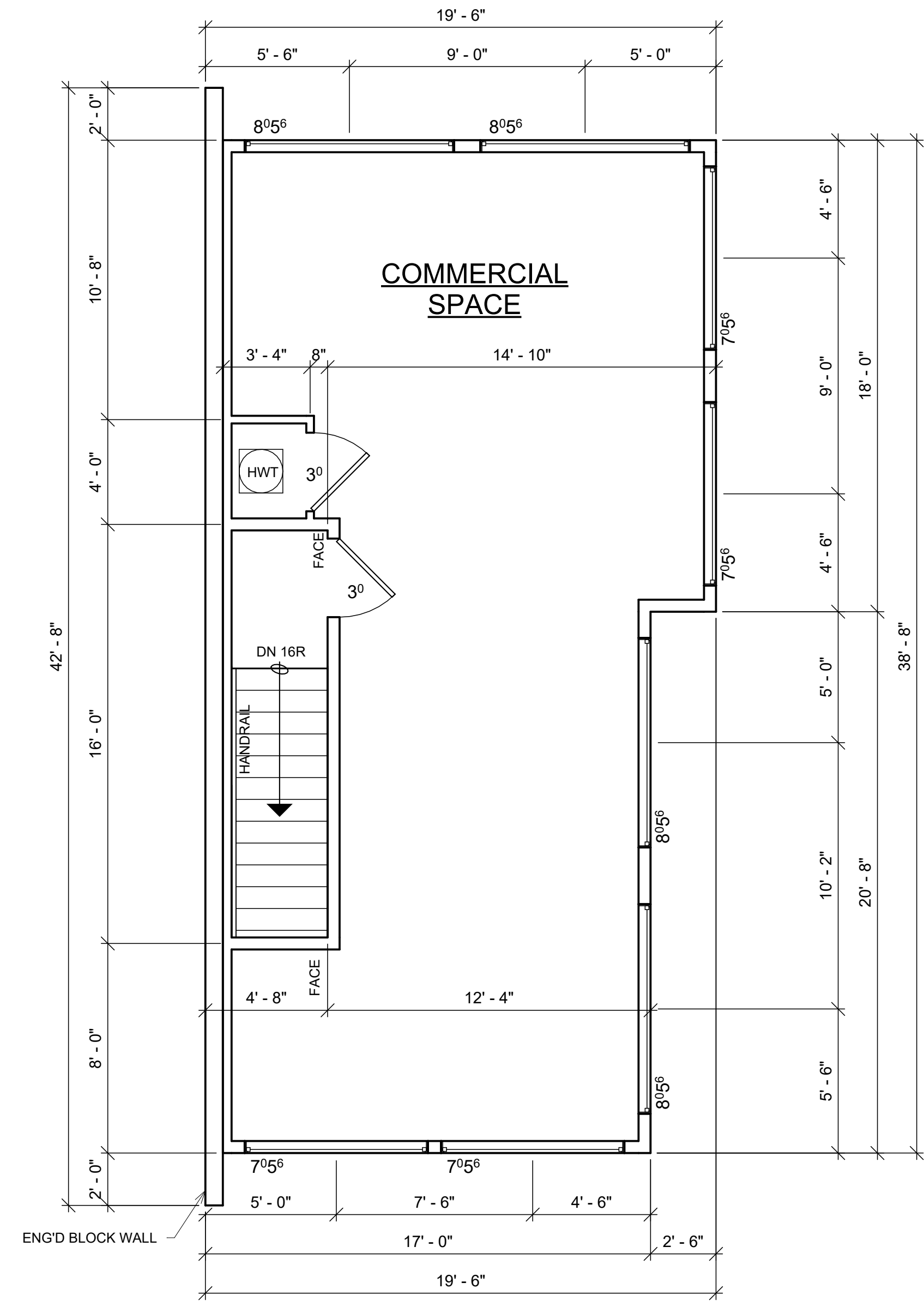
PROVIDE ROUGHIN SUBFLOOR DEPRESSURIZATION SYSTEM, 4" GRANULAR FILL BELOW SLAB AND PROVIDE 4" PIPE WITH CONNECTION FOR FUTURE DEPRESSURIZATION EQUIPMENT AND AIRTIGHT CAP TO BE PASSIVELY VENTED TO EXTERIOR, TO BE TERMINATED OUTSIDE



**MAIN FLOOR PLAN**

1/4" = 1'-0"

9' - 0 3/4" CEILING HEIGHT  
 LOWER COMMERCIAL AREA = 326 SQ. FT.  
 UPPER COMMERCIAL AREA = 33 SQ. FT.



**SECOND FLOOR PLAN**

1/4" = 1'-0"

9' - 0 3/4" CEILING HEIGHT  
 COMMERCIAL AREA = 702 SQ. FT.

NOTE:  
 REMOVAL OF JHDL LOGO, TITLE BLOCK OR WATER MARK IS AGAINST CANADIAN COPYRIGHT LAWS

NOTE:  
 SOME BEAMS & LINTELS MAY BE REQUIRED TO BE ENGINEERED DUE TO ROOF LOADS NOT COVERED IN THE BUILDING CODE & IS THE RESPONSIBILITY OF THE HOME OWNER OR BUILDER TO SECURE.



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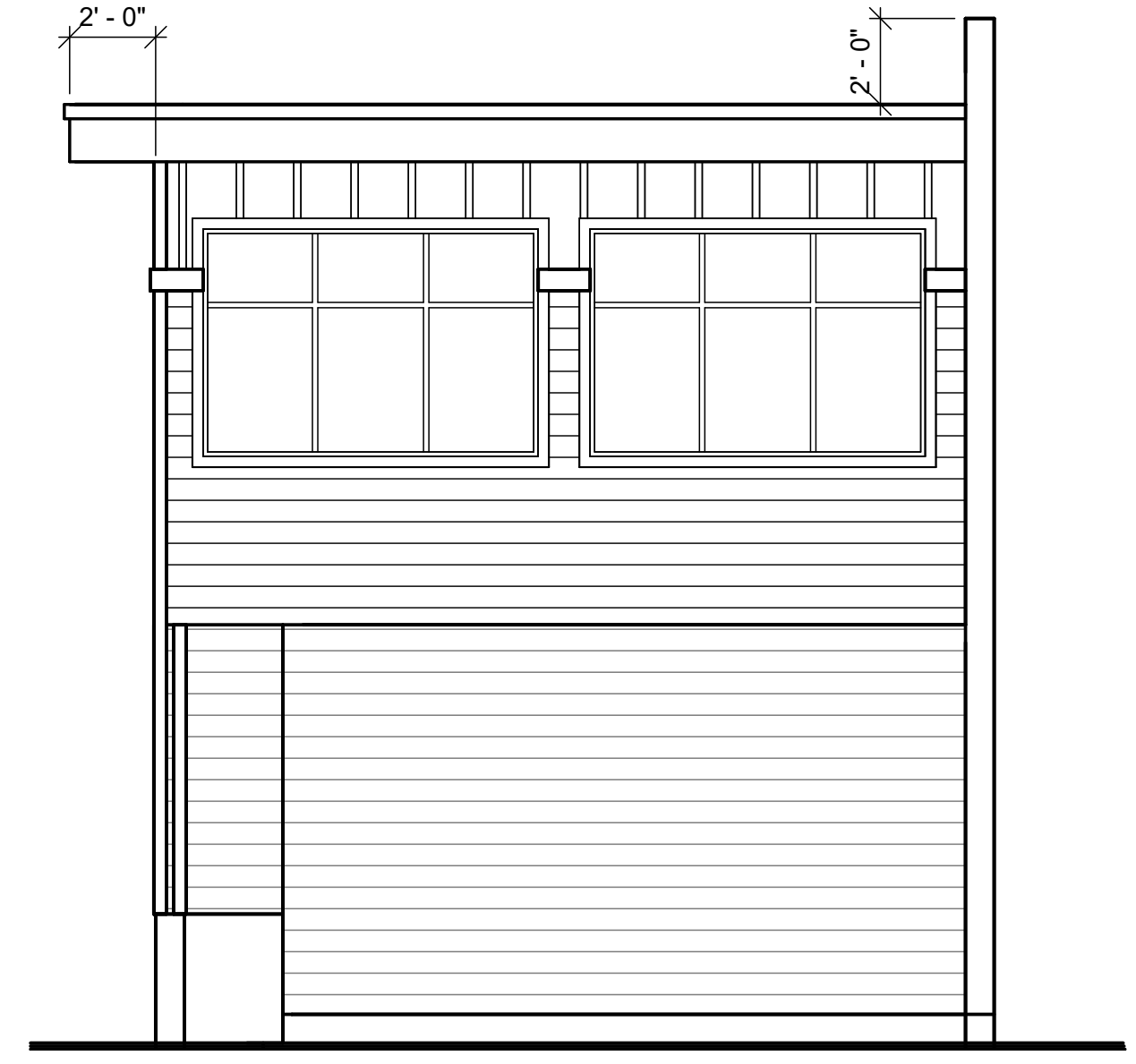
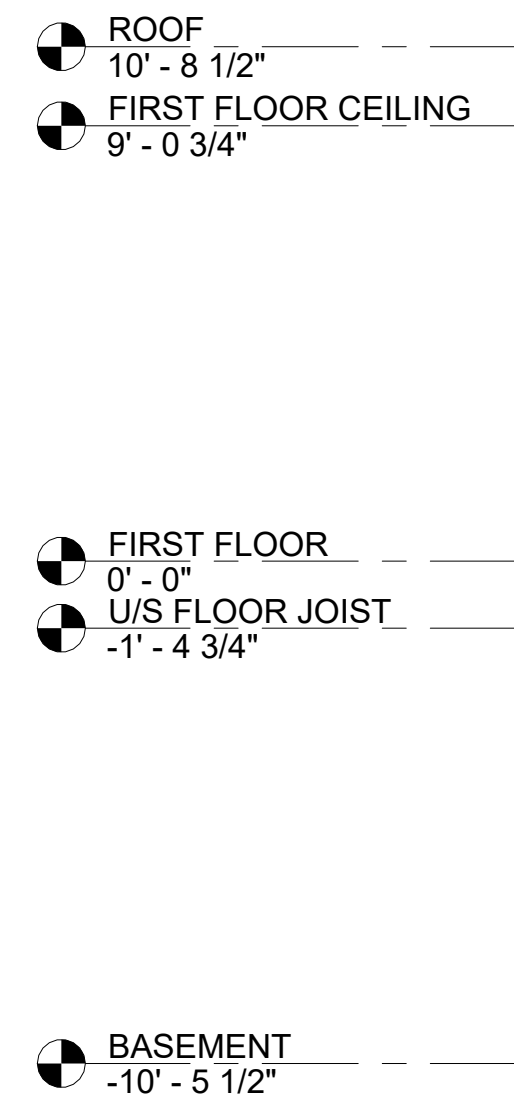
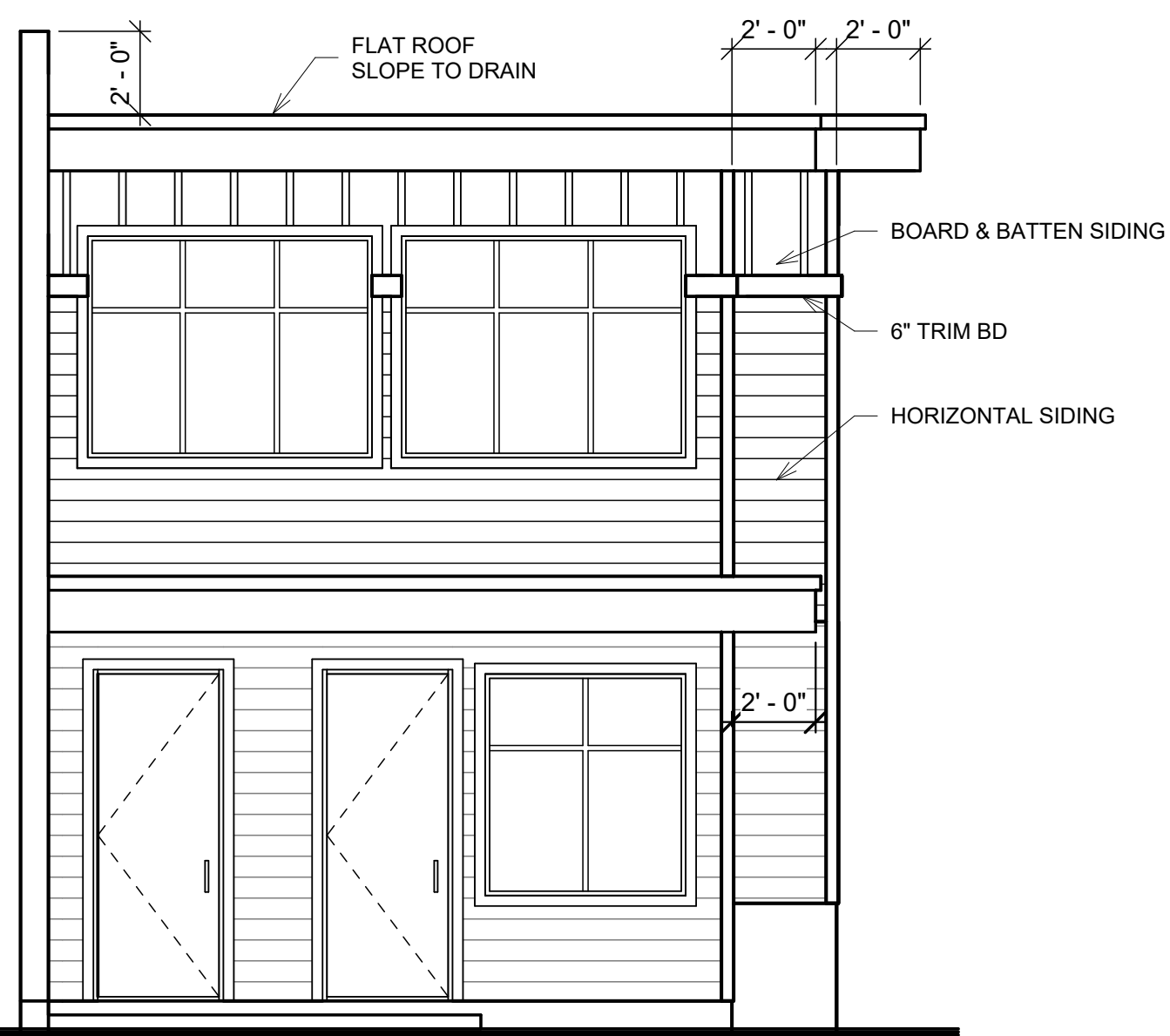
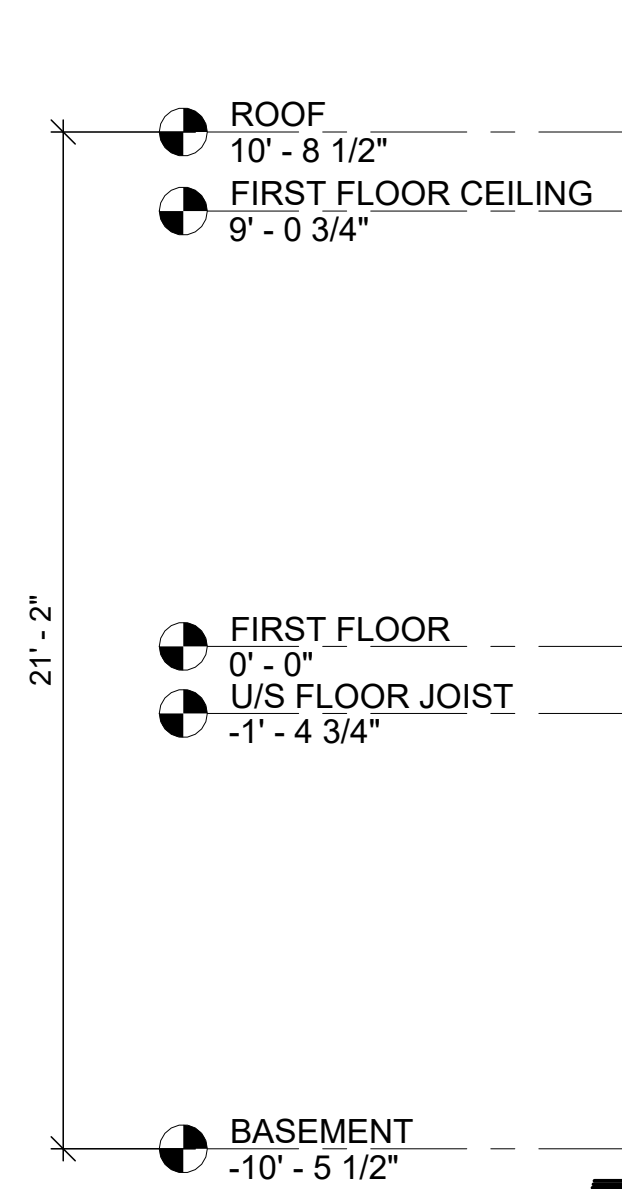
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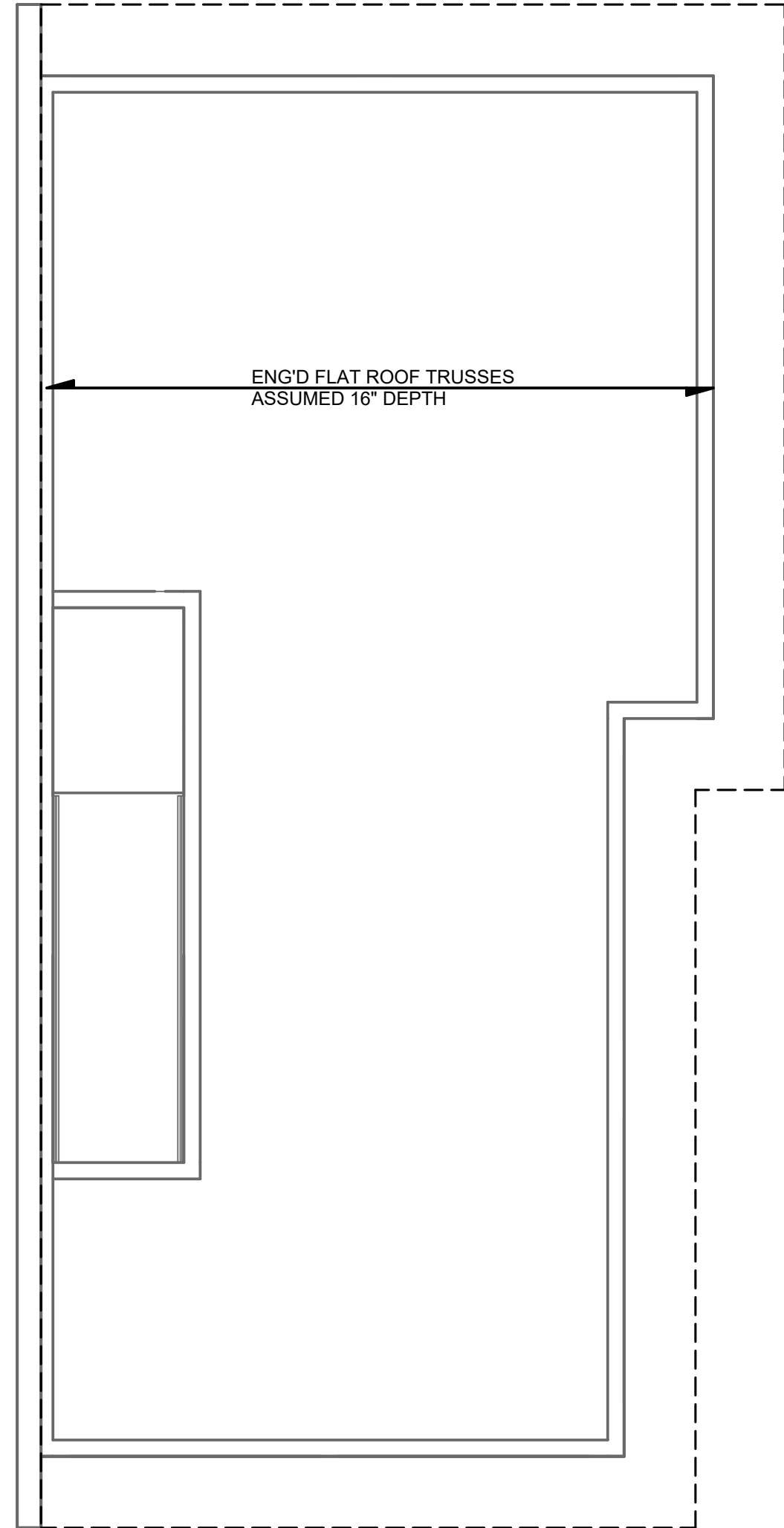
SHEET:  
 1 OF 3

PLAN NUMBER:  
 C8-2-115



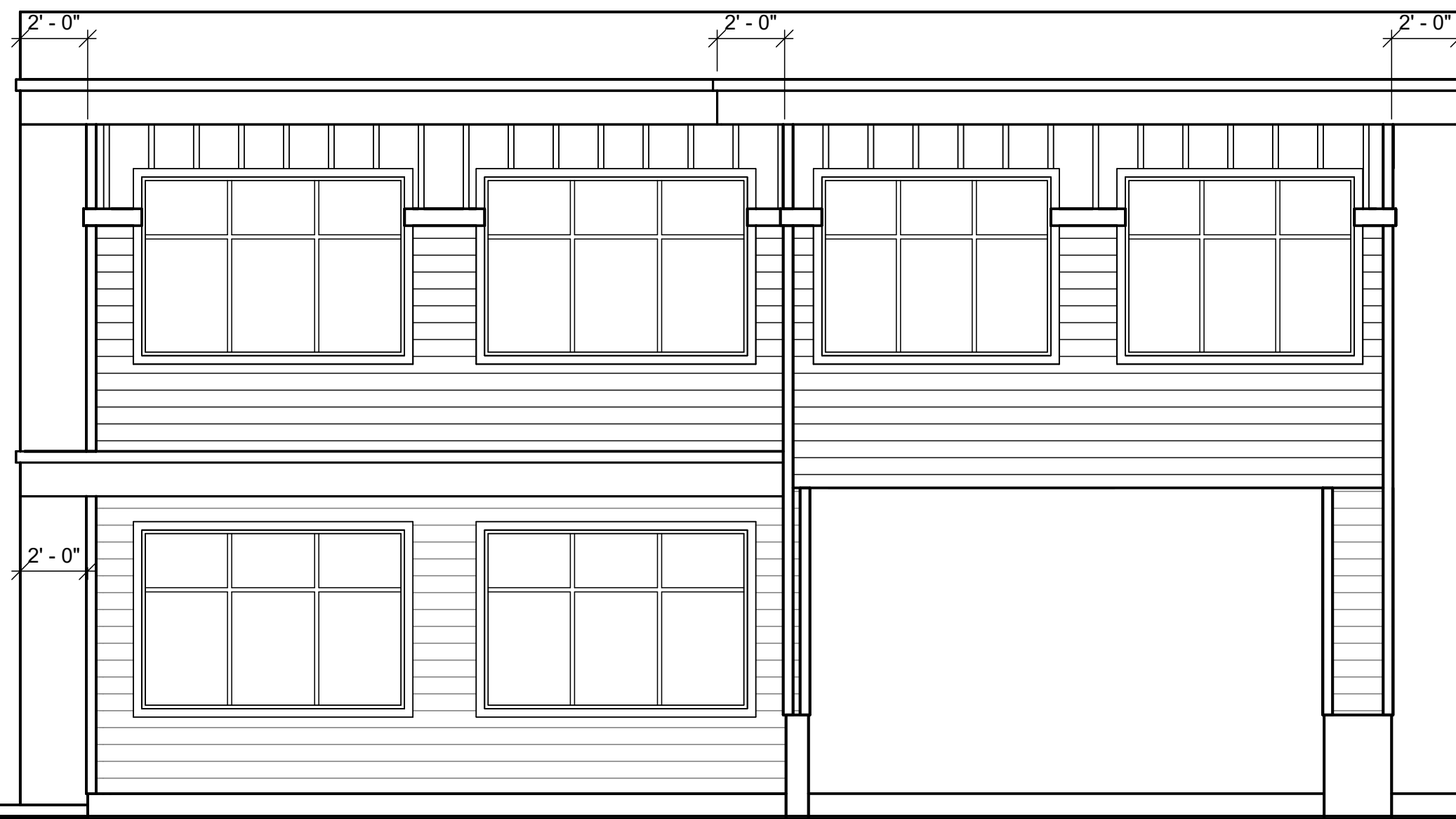
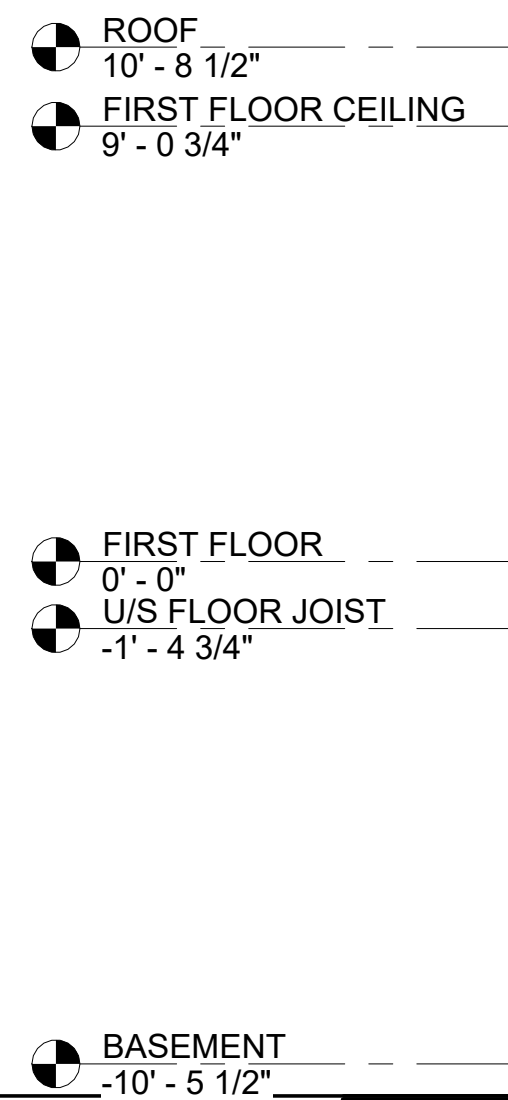
**FRONT ELEVATION**  
 1/4" = 1'-0"

**REAR ELEVATION**  
 1/4" = 1'-0"

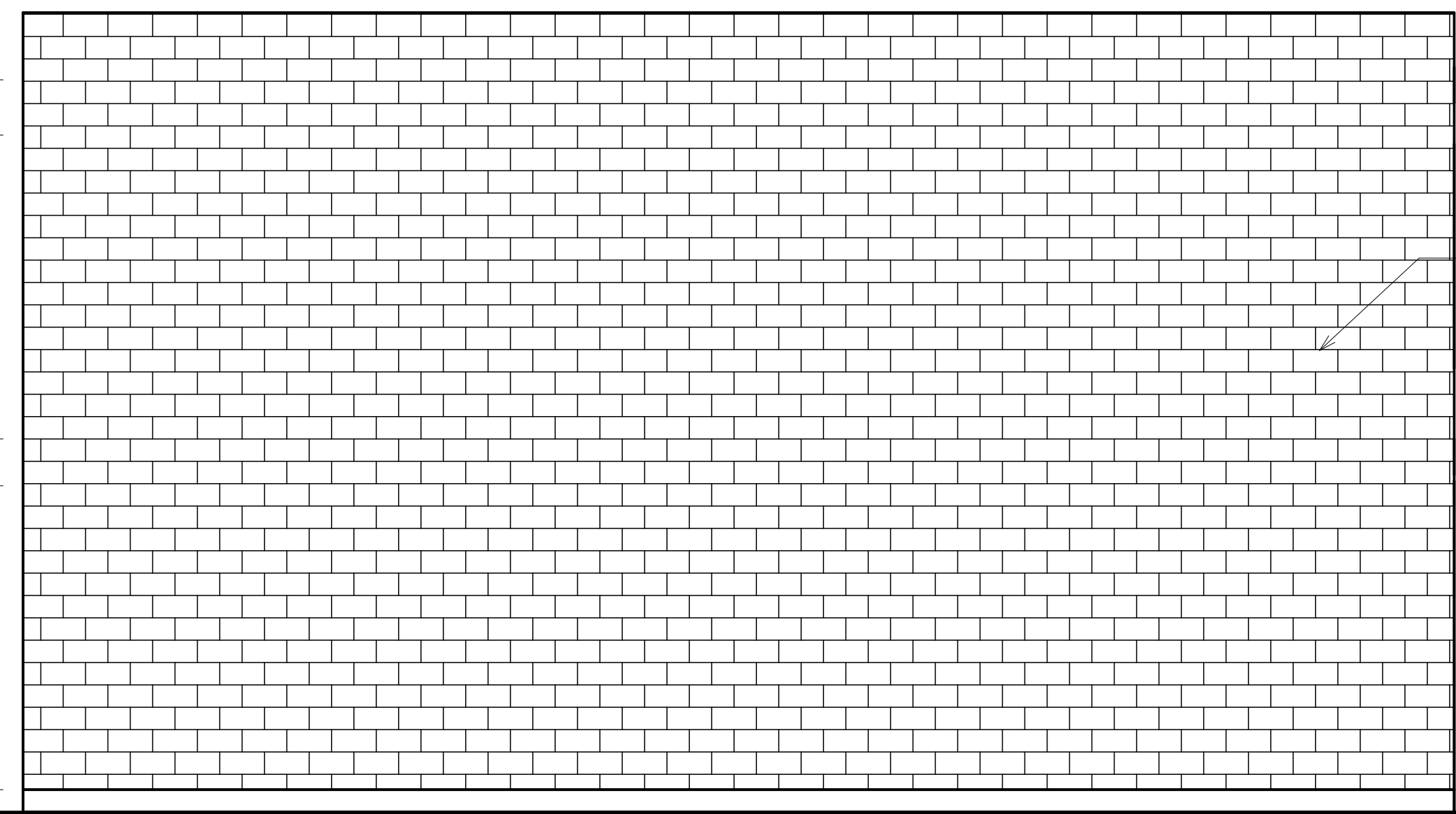
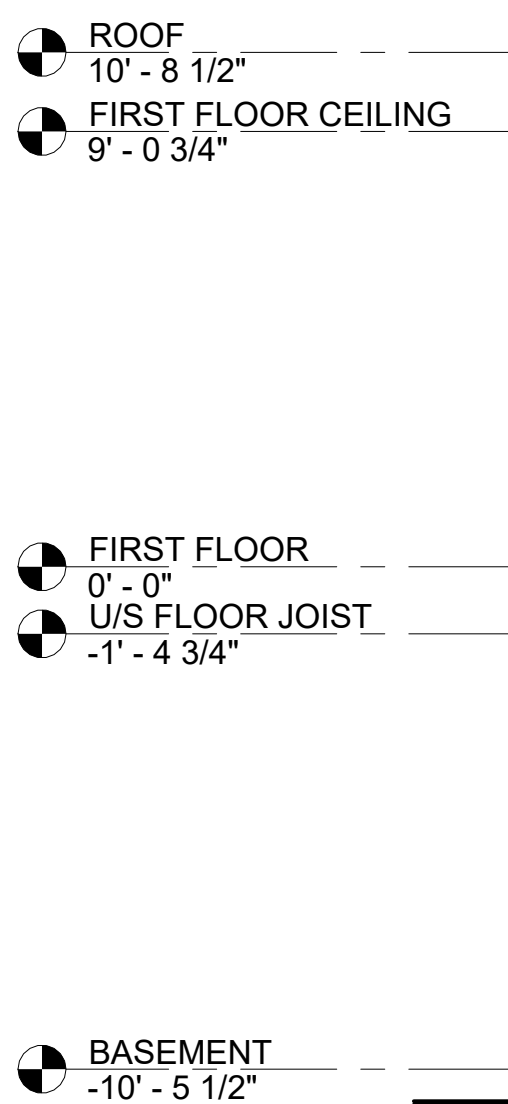


**ROOF FRAME PLAN**  
 1/4" = 1'-0"

\*TRUSS LAYOUT TO BE CHECKED, VERIFIED & ENGINEERED BY TRUSS MANUFACTURER



**RIGHT ELEVATION**  
 1/4" = 1'-0"



**LEFT ELEVATION**  
 1/4" = 1'-0"



NOTE:  
ENGINEER'S ADDENDUMS, STRUCTURAL DETAILS, AND NOTES SUPERSEDE THOSE NOTED ON THIS GENERAL NOTE SHEET DEPENDING ON LOCAL CONDITIONS.

**GENERAL NOTES**

**STANDARD NOTES**

- THE FOLLOWING NOTES ARE TO BE INCLUDED WITH AND BECOME PART OF THE ATTACHED PLANS.
- BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE PLANS, THE OWNER AND/OR BUILDER ACCEPTS THESE PLANS AS DRAWN AND HAS READ AND UNDERSTANDS THE GENERAL NOTES AS FOLLOWS.
- THIS DRAWING WAS PREPARED IN ACCORDANCE WITH THE CURRENT EDITION OF THE BC BUILDING CODE. IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO INSURE THAT SUBSEQUENT CHANGES TO THE CODE ARE COMPLIED WITH AND INCORPORATED IN THE CONSTRUCTION OF THIS PLAN. ALL WORK SHALL CONFORM TO THE CURRENT BC BUILDING CODE AND/OR LOCAL BUILDING CODES AND BYLAW THAT MAY TAKE PRECEDENCE.
- ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS.
- JENISH HOUSE DESIGN LIMITED SHALL NOT BE RESPONSIBLE FOR ANY VARIANCES FROM THE STRUCTURAL DRAWINGS AND SPECIFICATIONS, OR ADJUSTMENTS REQUIRED RESULTING FROM CONDITIONS ENCOUNTERED AT THE JOB SITE AND IS THE SOLE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.
- CONSTRUCTION LOADS ON THE STRUCTURE CAUSED BY INTERIM STORAGE OF MATERIALS OR USE OF EQUIPMENT SHALL NOT BE ALLOWED TO EXCEED THE DESIGN LOAD.
- THE BUILDER SHALL BE RESPONSIBLE FOR MAINTAINING A NEAT AND ORDERLY CONSTRUCTION SITE AT ALL TIMES.
- AT END OF CONSTRUCTION THE BUILDER SHALL BE RESPONSIBLE FOR CLEANING THE JOB SITE AND BUILDING(S) OF ANY REFUSE AND MAKING GOOD ANY DAMAGE TO BUILDING(S) INCURRED DURING CONSTRUCTION.
- PRIOR TO COMMENCING EXCAVATION WORK THE BUILDER SHALL BE RESPONSIBLE FOR ESTABLISHING THE LOCATION OF AND CLEARLY MARKING EXISTING SERVICES AND IMMEDIATELY NOTIFYING APPLICABLE AUTHORITIES OF ANY DISCREPANCIES.
- TOPSOIL AND EXCAVATED MATERIAL TO BE STOCKPILED SEPARATELY ON SITE.

**ERRORS AND OMISSIONS**

- JENISH HOUSE DESIGN LIMITED MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE HOME PLANS. HOWEVER, WE ASSUME NO LIABILITY FOR ANY ERRORS OR OMISSIONS THAT MAY AFFECT CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION.
- SHOULD ANY DISCREPANCIES BE FOUND ON THE PLANS PLEASE ADVISE OUR OFFICE AT YOUR EARLIEST CONVENIENCE, BY DOING SO WE WILL BE ABLE TO MAKE CORRECTIONS TO THE DRAWINGS AND REPLACE ANY PLANS PURCHASED IF NECESSARY. IN THIS WAY WE CAN BETTER SERVE YOU AND PREVENT ERRORS FROM RECURRING.

**STRUCTURAL DESIGN AND ENGINEERING**

- TO PROVIDE OUR CLIENTS WITH DISTINCTIVE AND ATTRACTIVE DESIGNS IT HAS BEEN NECESSARY IN SOME INSTANCES TO USE BEAM SIZES AND FRAMING DETAILS NOT SPECIFIED IN PART NINE OF THE B.C. BUILDING CODE. THE CITY OR MUNICIPAL BUILDING DEPARTMENT MAY REQUIRE CONFIRMATION BY A CERTIFIED STRUCTURAL ENGINEER WHICH IS THE RESPONSIBILITY OF OWNER OR BUILDER TO PROVIDE.

**STRUCTURAL DESIGN CRITERIA**

- ASSUMED ROOF DESIGN LOAD (LIVE AND DEAD) - 50 POUNDS PER SQUARE FOOT (2.5 KN/M SQ.).
- ASSUMED SOIL BEARING CAPACITY - 2,500 P.S.F. (119.7 KN/M SQ.).
- CONCRETE FOUNDATIONS AND SLABS ON GRADE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 20 MPA AT 28 DAYS.
- FRAMING LUMBER TO BE #2 S.P.F. AND BETTER UNLESS OTHERWISE NOTED.
- BEAMS TO BE #2 S.P.F. AND BETTER.

NOTE:  
IF SOIL CONDITIONS ARE LESS, OR FLOOR AND ROOF LOADS ARE GREATER THAN THIS PLAN IS DESIGNED FOR, YOUR BUILDING DEPARTMENT MAY REQUIRE ADJUSTMENTS TO THE PLANS OR ASK THAT THE PLANS BE ENGINEERED BY A CERTIFIED STRUCTURAL ENGINEER. IT IS BEST THAT AN ENGINEER FAMILIAR WITH LOCAL CONDITIONS BE CONSULTED.

**SITE PLAN NOTES**

- IF A SITE PLAN IS NOT PROVIDED BY JENISH HOUSE DESIGN LIMITED, THE OWNER OR BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SITING OF THIS HOME ON THE PROPERTY. JENISH HOUSE DESIGN LIMITED ASSUMES NO LIABILITY FOR PLANS COMPLYING WITH ZONING REGULATIONS OR LOT CONDITIONS.
- OWNER SHALL SUPPLY ANY MISSING INFORMATION ON SITE PLAN, I.E. DIMENSIONS, ELEVATIONS OF LOT, LEGAL DESCRIPTION, SITE ADDRESS, NORTH DIRECTION, AND LOCATION OF SERVICES, EASEMENTS AND RIGHT OF WAYS. ALL MEASUREMENTS ON SITE PLAN TO BE GOVERNED AND APPROVED BY AUTHORITIES HAVING JURISDICTION BEFORE STARTING CONSTRUCTION.
- WELLS AND SEPTIC DISPOSAL SYSTEMS TO BE LOCATED AND CONSTRUCTED IN ACCORDANCE WITH HEALTH AUTHORITIES HAVING JURISDICTION.

**ELECTRICAL**

- INSTALLATION OF ELECTRICAL ITEMS MUST COMPLY WITH THE BC ELECTRICAL CODE AND REGULATIONS AND WITH THE LOCAL ELECTRIC POWER SUPPLIER'S REGULATIONS IN ALL RESPECTS.
- ELECTRICAL OUTLET LOCATIONS SHOWN ON PLANS COMPLY WITH OR EXCEED CURRENT BUILDING CODE MINIMUM REQUIREMENTS AND ARE TO BE USED AS A GUIDE ONLY, ADJUST ACCORDING TO OWNER'S REQUIREMENTS.

**FOUNDATIONS**

- FOUNDATIONS SHALL BE CONCRETE ON SOLID UNDISTURBED BEARING AND BELOW FROST LINE.
- FOUNDATION WALLS SHALL NOT BE BACK FILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28-DAY STRENGTH AND THE FLOOR SYSTEM INCLUDING SHEATHING HAS BEEN INSTALLED OR UNTIL ADEQUATELY BRACED SUBJECT TO APPROVAL BY AUTHORITY HAVING JURISDICTION.
- GRADES SHOW ON PLANS ARE ESTIMATED. FOUNDATION WALL HEIGHTS MAY REQUIRE ADJUSTMENT TO SUIT SITE CONDITIONS.
- ALL CONCRETE AND MASONRY FOUNDATION WALLS EXCEEDING HEIGHT LIMITS SPECIFIED BY CURRENT BUILDING CODES REQUIRE ENGINEERING.
- PERIMETER DRAINAGE SHALL BE INSTALLED WHERE REQUIRED TO THE APPROVAL OF LOCAL AUTHORITIES.
- IT IS RECOMMENDED THAT ALL FOUNDATION WALLS 24" (600 MM) AND HIGHER SHALL HAVE ONE 12MM (1/2" DIAMETER) REINFORCING BAR CENTERED 3" FROM TOP CORNER REINFORCING TO BE LAPPED MINIMUM 24".

**WOOD FRAMING**

- DIMENSIONS ARE FROM OUTSIDE FACE OF EXTERIOR STUDS TO CENTER OF PARTITION WALLS UNLESS OTHERWISE NOTED. FACE OF EXTERIOR STUD WALL AND FOUNDATION WALL TO BE FLUSH.
- JOISTS SHALL BE DOUBLED UNDER PARALLEL PARTITIONS OVER 6'-0" LONG. JOISTS TO BE PLACED TO ACCOMMODATE HEATING, PLUMBING, ETC.
- ALL LINTELS SHALL BE 2 - 2 X 10'S UNLESS OTHERWISE NOTED.
- WOOD IN CONTACT WITH CONCRETE TO BE DAMP-PROOFED WITH 45 LBS FELT, 6 MIL POLY OR OTHER APPROVED METHOD. PLATES TO BE ANCHORED TO CONCRETE WITH 1/2" DIAMETER ANCHOR BOLTS AT MAXIMUM 6'-0" O.C. OR OTHER APPROVED METHOD. EXTERIOR CONCRETE SILL PLATES TO BE LEVEL AND UNDERSIDE SEALED.
- FLOOR JOISTS AND ROOF JOISTS WITH SPANS MORE THAN 7'-0" SHALL BE CROSSBRIDGED AT MID SPAN OR AT 7'-0" O.C. MAXIMUM UNLESS SHEATHED OR STRAPPED BOTH SIDES WITH WOOD BRIDGING SHALL BE 2 X 2 DIAGONAL TYPE WHEREVER POSSIBLE.
- ROOF TRUSSES REQUIRE ENGINEER'S CERTIFICATE. FOR PREFABRICATED TRUSSES OBTAIN CERTIFICATE FROM MANUFACTURER.

**INSULATION AND VENTILATION**

- MINIMUM INSULATION REQUIREMENTS:  
 ROOF (ATTIC) R-50 (R.S.I. - 8.45)  
 ROOF/CEILING (SLOPING) R-28 (R.S.I. - 4.93)  
 WALLS R-24 (R.S.I. - 3.87)  
 INSULATION REQUIREMENTS 4500 DEGREE DAYS OR GREATER R-60 (R.S.I. - 10.56)  
 R-24 (R.S.I. - 4.23)
- 6 MIL ULTRAVIOLET RESISTANT POLY AIR BARRIER SHALL BE INSTALLED ON THE WARM SIDE OF INSULATION.
- ALL ROOF SPACES SHALL BE VENTILATED WITH SOFFIT, ROOF, OR GABLE VENTS, OR A COMBINATION OF THESE EQUALLY DISTRIBUTED BETWEEN TOP OF ATTIC SPACE AND OVERHANG SOFFIT.
- PROVIDE BAFFLE FOR AIR SPACE (EQUAL TO SOFFIT VENTING) BETWEEN INSULATION AND ROOF SHEATHING AT EXTERIOR WALL LINE.
- ATTICS OR ROOF SPACES TO BE VENTED MINIMUM 1/300 OF AREA. UNHEATED CRAWLSPACES TO BE VENTED MINIMUM 1/500 OF AREA WITH CLOSEABLE VENTS.

**FINISHING**

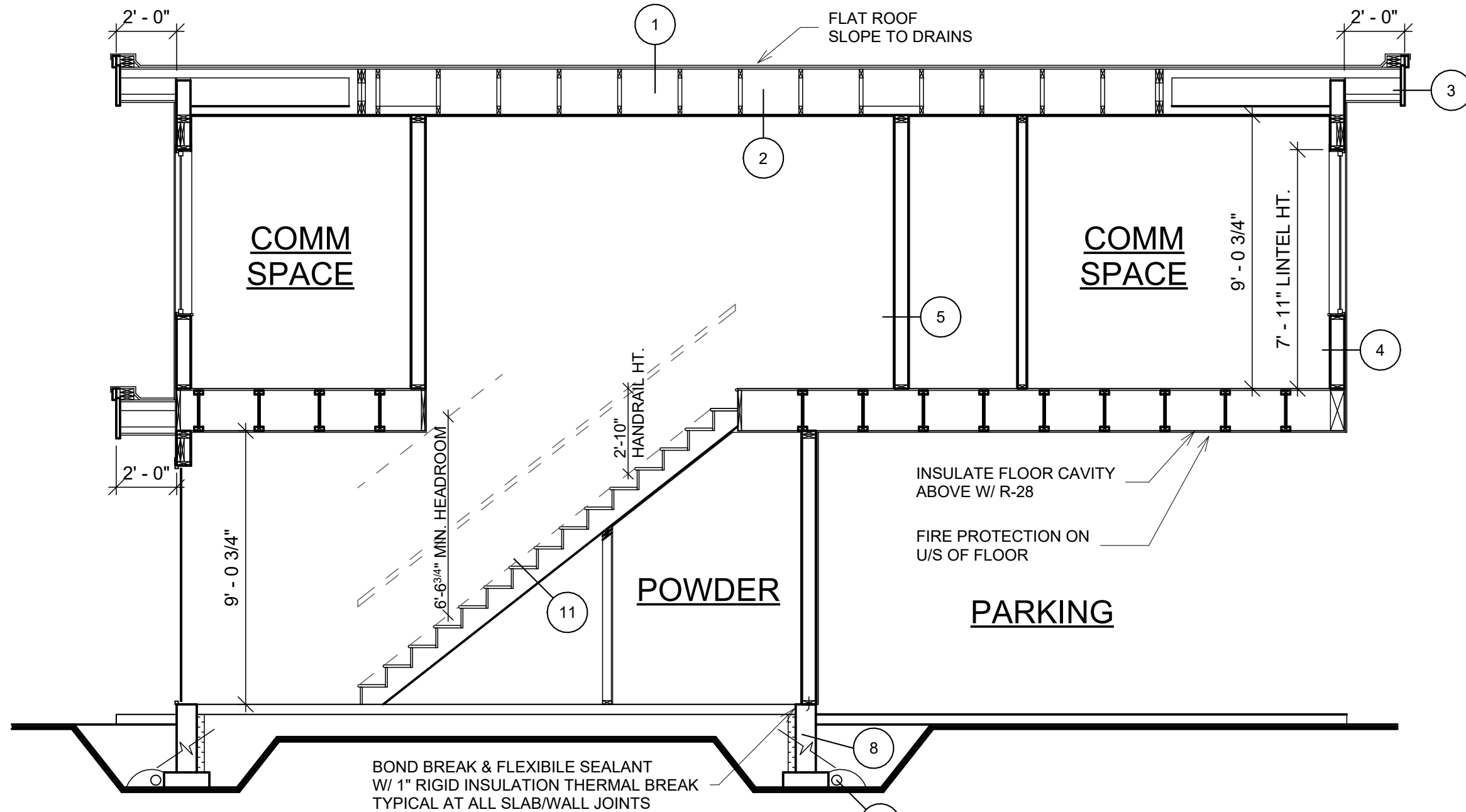
- OWNER SHALL SPECIFY ALL INTERIOR AND EXTERIOR FINISHING. OWNER SHALL CONFIRM ANY FINISHING APPLICABLE ON PLANS.
- EXTERIOR DOORS SHALL BE SOLID CORE INSULATED AND WEATHER-STRIPPED. GARAGE DOORS TO DWELLING TO BE AS ABOVE AND SELF-CLOSING.
- FLASH AT ALL HORIZONTAL CHANGES IN EXTERIOR FINISHING CAULK AROUND ALL EXTERIOR OPENINGS.
- FLASH OVER ALL UNPROTECTED OPENINGS.
- WINDOW SIZES ARE SHOWN IN FEET AND INCHES. I.E. 4'-0" = 4'-0" WIDE ARCHES SHALL HAVE ONE SHELF. DOOR SIZES ARE WIDTH SHOWN BY 6'-8" HIGH. I.E. 2'-8" WIDE BY 6'-8" HIGH.
- OPENINGS IN PARTITIONS SHOWN WITHOUT DOORS ARE FULL HEIGHT UNLESS SHOWN AS AN ARCH. ARCHES ARE FRAMED 7'-0" HIGH UNLESS OTHERWISE NOTED.
- COAT AND CLOTHES CLOSETS SHALL HAVE ONE ROD AND SHELF. LINEN CLOSETS SHALL HAVE 5 ADJUSTABLE SHELVES WHERE POSSIBLE. BROOM CLOSETS SHALL HAVE ONE SHELF.
- ALL BATHROOMS SHALL HAVE A WALL MEDICINE CABINET OR ONE LOCKABLE DRAWER.

**HEATING**

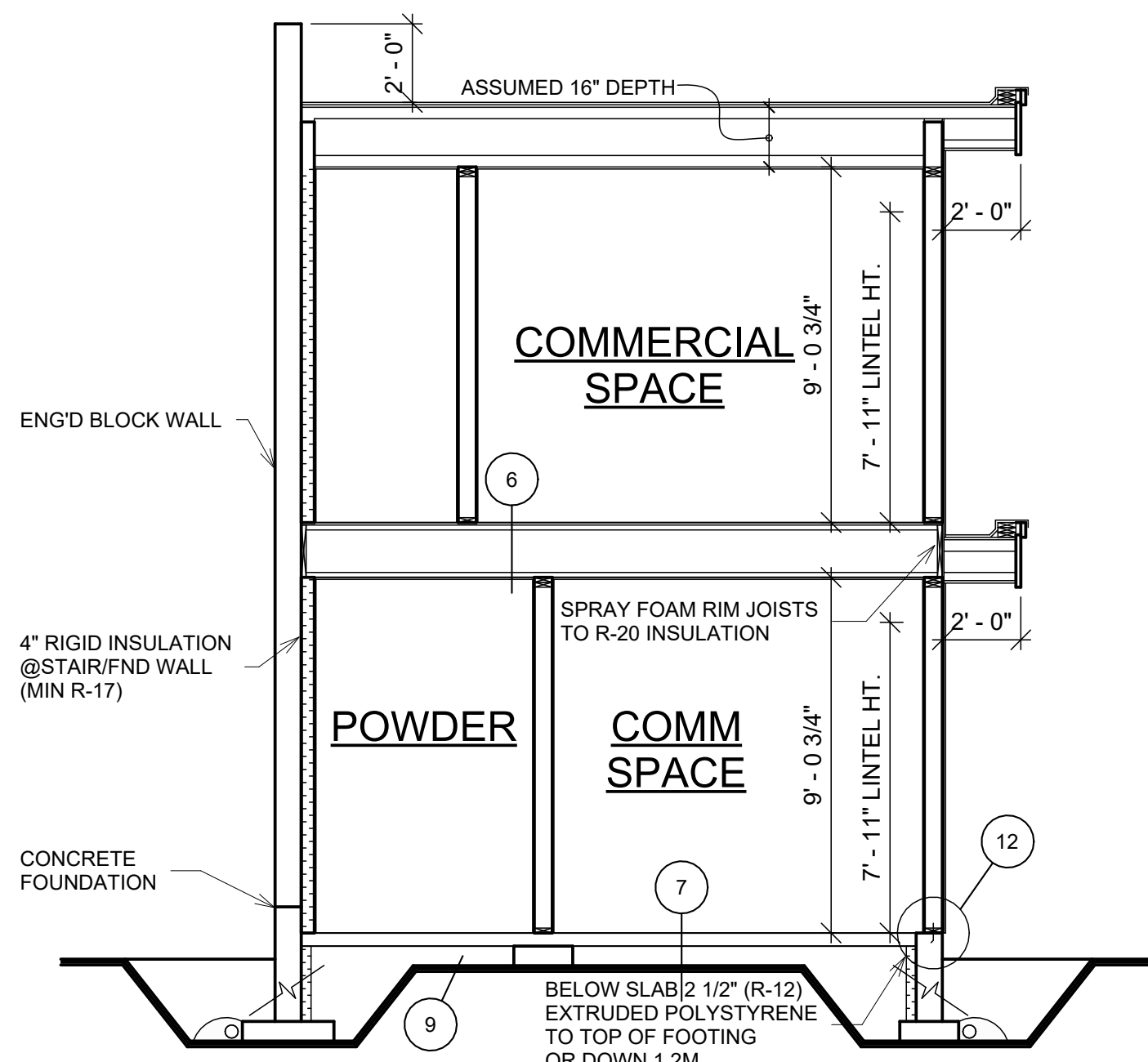
- INSTALLATION OF ENTIRE HEATING SYSTEM MUST COMPLY WITH MANUFACTURER'S DIRECTIONS (WHERE APPLICABLE) AND CONFORM WITH LOCAL CODES AND REGULATIONS IN ALL RESPECTS.
- GAS CONNECTION WILL REQUIRE SEPARATE PERMIT AND INSPECTION.
- FUEL BURNING APPLIANCES, INCLUDING FURNACES, FIREPLACES AND STOVES, TO BE PROVIDED WITH COMBUSTION AIR SUPPLY FROM EXTERIOR.

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- JENISH HOUSE DESIGN LIMITED PERMITS THE PURCHASER TO CONSTRUCT ONLY ONE (1) DWELLING FROM THESE DRAWINGS.



**SECTION A/1**  
1/4" = 1'-0"



**SECTION B/1**  
1/4" = 1'-0"

**SPECIFICATIONS**

- |  |  |   |   |
|--|--|---|---|
| <p>1 <b>FLAT ROOF:</b><br/>TORCH ON ROOFING W/ SLOPE TO DRAINS<br/>1/2" PLY SHEATHING WITH 'H' CLIPS<br/>ENG'D ROOF TRUSSES</p> <p>2 <b>CEILING:</b><br/>5/8" GYPSUM BOARD<br/>6 MIL POLY V.B. (U.V. RESISTANT)<br/>R-50 BATT INSULATION</p> <p>3 <b>FASCIA/SOFFIT:</b><br/>ALUMINUM GUTTER ON<br/>2x10 FASCIA BOARD<br/>VENTED ALUM. SOFFIT</p> | <p>4 <b>EXTERIOR WALL:</b><br/>HORIZONTAL/BOARD &amp; BATTEN SIDING<br/>BUILDING PAPER<br/>7/16" PLY SHEATHING<br/>2x6 STUDS @ 24" o/c<br/>R-24 BATT INSULATION<br/>6 MIL. POLY V.B. (U.V. RESISTANT)<br/>1/2" GYPSUM BOARD</p> <p>5 <b>INTERIOR PARTITION:</b><br/>1/2" GYPSUM BOARD - EACH SIDE<br/>2x6 STUDS @ 16" o/c</p> <p>6 <b>SECOND FLOOR:</b><br/>FINISH FLOORING<br/>3/4" T&amp;G PLYWOOD SUBFLOOR<br/>SCREWED &amp; GLUED<br/>ENGINEERED FLOOR JOISTS<br/>SIZE &amp; SPACING BY MANUFACTURER</p> | <p>7 <b>MAIN FLOOR:</b><br/>3 1/2" CONC. SLAB<br/>6 MIL. POLY.<br/>6" COMPACTED GRAVEL</p> <p>8 <b>EXTERIOR FOUNDATION:</b><br/>2 COATS ASPHALT EMULSION<br/>8" CONC FOUNDATION WALL<br/>2 1/2" (R-12) EXTRUDED POLYSTYRENE<br/>DOWN 1.2 M OR TO TOP OF FOOTING<br/>18" x 6" CONCRETE FOOTING</p> <p>9 <b>INTERIOR FOUNDATION:</b><br/>2x6 STUDS @ 16" o/c<br/>ON 45 # FELT OR EQUIVALENT<br/>1/2" DIA ANCHOR BOLTS @ 5'-6" o/c<br/>16" x 6" CONCRETE FOOTING</p> | <p>10 <b>DRAINAGE:</b><br/>6" MIN. DRAIN ROCK COVER<br/>4" DIA. DRAIN TILE</p> <p>11 <b>STAIRS:</b><br/>16 EQUAL RISERS<br/>10" RUNS W/ 1" NOSING<br/>2x10 STRINGERS<br/>34" HIGH HANDRAIL<br/>6'-6 3/4" MIN. HEADROOM</p> <p>12 <b>PLATE TO FOUNDATION CONNECTION:</b><br/>1/2" DIAM. ANCHOR BOLTS @ 5'-6" O.C.<br/>2x6 PLATE ON 45# FELT OR APPROVED DAMPPROOFING</p> |
|--|--|---|---|

**ELECTRICAL SYMBOLS**

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	SURFACE MOUNTED LIGHT FIXTURE (P.S. INDICATIONS PULL SWITCH)		DUPLEX RECEPTACLE (NUMBER INDICATES HEIGHT ABOVE FLOOR IF OTHER THAN 12")		GARAGE DOOR OPENER
	DROPPED LIGHT FIXTURE		SINGLE RECEPTACLE		DOOR CHIMES
	CEILING FAN		QUAD RECEPTACLE		PUSH BUTTON
	RECESSED LIGHT FIXTURE		DUPLEX RECEPTACLE SWITCHED ONE SIDE		INTERCOM CENTER
	RECESSED WALL WASHER		DUPLEX RECEPTACLE - SPLIT CIRCUIT		TELEVISION CABLE OUTLET
	VAPOUR PROOF LIGHT FIXTURE		DUPLEX FLOOR RECEPTACLE		TELEVISION OUTLET
	FLOOD LIGHT		SPECIAL PURPOSE FIXED WIRE OUTLET - I.E. DISHWASHER, SAUNA (30, 40)		SMOKE DETECTOR AND ALARM
	CLOCK OUTLET		DUPLEX APPLIANCE OUTLET	<b>STANDARD SYMBOLS</b>	
	VENT FAN		DUPLEX RECEPTACLE WEATHER PROOFED, ALL W.P. OUTLETS ALSO TO HAVE G.F.I. PROTECTION		CLASS A METAL CHIMNEY
	RECESSED HEAT LAMP		DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTER CIRCUIT BREAKER		CLASS B METAL CHIMNEY
	TRACK LIGHT		SINGLE POLE SWITCH		HOSE BIB
	SINGLE FLUORESCENT FIXTURE		3 OR 4 WAY SWITCH		FLOOR DRAIN
	FLUORESCENT LIGHT FIXTURE SURFACE MOUNTED		DIMMER CONTROL SWITCH		LAMINATED POST IN WALL SUPPORTING BEAM OR GIRDER TRUSS (WIDTH OF POST SAME AS STRUCTURAL MEMBER SUPPORTED)
	FLUORESCENT LIGHT FIXTURE RECESSED		DOOR SWITCH		FLOOR
	TIMER		CEILING		WALL
			WARM AIR REGISTERS		RETURN AIR REGISTER





HEAD OFFICE:  
 201-1658 COMMERCE AVE  
 KELOWNA, B.C., V1X 8A9  
 (236) 420-3346  
 TOLL FREE 1-888-468-9235

# JENISH HOUSE DESIGN LIMITED



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REFERENCE:  
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 AD

CHECKED:  
 TB

DATE:  
 JANUARY '24

SCALE:  
 AS NOTED

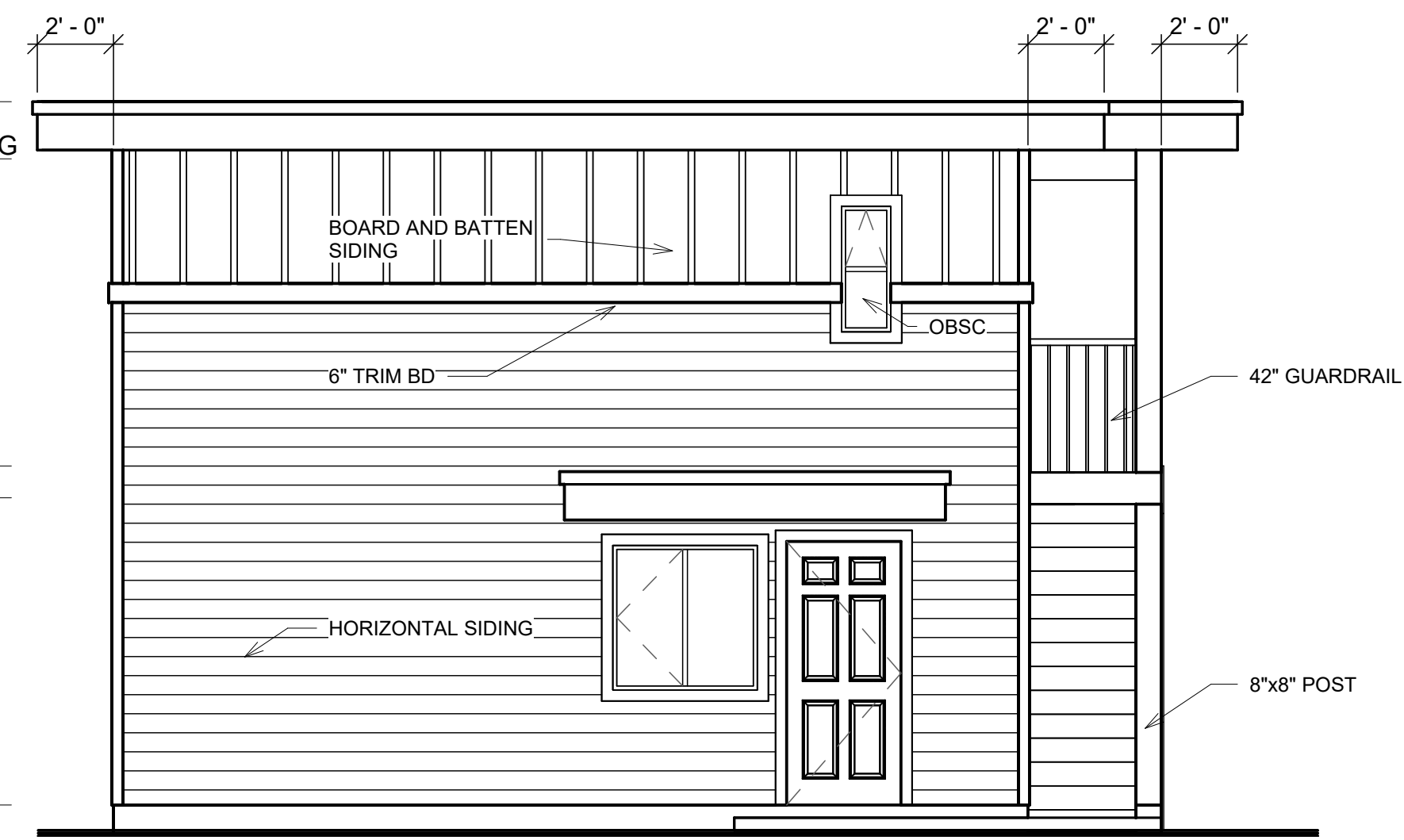
SHEET:  
 1A

PLAN NUMBER:  
 C8-2-115





**FRONT ELEVATION**  
1/4" = 1'-0"



**LEFT ELEVATION**  
1/4" = 1'-0"



**REAR ELEVATION**  
1/4" = 1'-0"



**RIGHT ELEVATION**  
1/4" = 1'-0"

● ROOF  
9' - 6 3/4"  
 ● FIRST FLOOR CEILING  
8' - 0 3/4"  
 BOARD AND BATTEN SIDING  
 6" TRIM BD  
 ● FIRST FLOOR  
0' - 0"  
 ● U/S FLOOR JOIST  
-0' - 10"  
 HORIZONTAL SIDING  
 8"x8" POST  
 ● BASEMENT  
-8' - 10 3/4"

● ROOF  
9' - 6 3/4"  
 ● FIRST FLOOR CEILING  
8' - 0 3/4"  
 BOARD AND BATTEN SIDING  
 6" TRIM BD  
 ● FIRST FLOOR  
0' - 0"  
 ● U/S FLOOR JOIST  
-0' - 10"  
 HORIZONTAL SIDING  
 42" GUARDRAIL  
 8"x8" POST  
 ● BASEMENT  
-8' - 10 3/4"

● ROOF  
9' - 6 3/4"  
 ● FIRST FLOOR CEILING  
8' - 0 3/4"  
 ● FIRST FLOOR  
0' - 0"  
 ● U/S FLOOR JOIST  
-0' - 10"  
 ● BASEMENT  
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● ROOF  
9' - 6 3/4"  
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 ● FIRST FLOOR  
0' - 0"  
 ● U/S FLOOR JOIST  
-0' - 10"  
 ● BASEMENT  
-8' - 10 3/4"

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SCALE:  
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SHEET:  
 2 OF 3

PLAN NUMBER:  
 C8-2-115