

ENDERBY AND DISTRICT SERVICES COMMISSION

Brad Case
Tundra Baird

Herman Halvorson
Denis Delisle

AGENDA

DATE: Monday, January 21, 2019
TIME: 1:30 pm
LOCATION: Council Chambers, Enderby City Hall – 619 Cliff Avenue

1. APPROVAL OF AGENDA

2. ADOPTION OF MINUTES

[Enderby & District Services Commission Regular Meeting Minutes of September 26, 2018](#) P1

3. REPORTS

Cemetery Land Use Plan presented by Lees & Associates

[Cemetery Land Use Plan Report](#) P3
Memo prepared by Chief Administrative Officer dated January 17, 2019

4. NEW BUSINESS

[Purchase of Recreation Sound System](#) P71
Memo prepared by Chief Financial Officer dated December 20, 2018

[Riverside Park Diamond 5 Referrals](#) P72
Memo prepared by Chief Administrative Officer dated January 4, 2019

[2018 Enderby Outdoor Pool Final Report](#) P75

5. PUBLIC QUESTION PERIOD

6. CLOSED MEETING RESOLUTION

Closed to the public pursuant to Section 90 (1) (k) of the *Community Charter*

7. ADJOURNMENT

ENDERBY AND DISTRICT SERVICES COMMISSION

MINUTES of a regular meeting of the **ENDERBY AND DISTRICT SERVICES COMMISSION** held on Wednesday, September 26, 2018 at 11:00 in the Council Chambers of Enderby City Hall.

Members: Brad Case City of Enderby
Tundra Baird City of Enderby
Denis Delisle Electoral Area F
Herman Halvorson Electoral Area F

Staff: Tate Bengtson – Chief Administrative Officer, City of Enderby
Laurel Grimm – Recording Secretary, City of Enderby

APPROVAL OF AGENDA

Moved by Tundra Baird, seconded by Brad Case
“THAT the September 26, 2018 Enderby and District Services Commission agenda be approved as presented.

CARRIED

ADOPTION OF MINUTES

[Enderby & District Services Commission Regular Meeting Minutes of May 7, 2018](#)

Moved by Denis Delisle, seconded by Brad Case
“THAT the minutes of the regular meeting of May 7, 2018 be adopted as presented.”

CARRIED

[Enderby & District Services Commission Regular Meeting Minutes of June 27, 2018](#)

Moved by Denis Delisle, seconded by Brad Case
“THAT the minutes of the regular meeting of June 27, 2018 be adopted as presented.”

CARRIED

NEW BUSINESS

Riverside Park Backstop Extension

[Memo from Chief Administrative Officer dated August 30, 2018](#)

Moved by Tundra Baird, seconded by Herman Halvorson
“THAT the Enderby & District Services Commission directs Staff to proceed with extending the backstop on Diamond #1 at Riverside Park, at a cost not to exceed \$8,000 “

CARRIED

Moved by Tundra Baird, seconded by Herman Halvorson
“THAT Staff send a letter to the Grindrod Recreation Association encouraging it to consider re-establishing a competitive ball diamond at Grindrod Park.”

CARRIED

Riverside Park Diamond 5 Feasibility Study

[Memo from Chief Administrative Officer Dated September 17, 2018](#)

Moved by Herman Halvorson, seconded by Tundra Baird

“THAT the Enderby & District Services Commission refers the “Feasibility Design & Cost Estimating Services for Riverside Park Ball Fields” report to the ball user group meeting scheduled for October 2018;

AND THAT, subject to the ball user groups supporting a particular concept for a fifth ball diamond, the Commission directs staff to proceed with refining the design and costs, and work with the ball diamond user groups to discuss potential fundraising targets;

AND FURTHER THAT, subject to the ball user groups supporting a particular concept, the Commission provide notice to the Regency on the River strata corporation of the proposed project and invites comment.”

CARRIED

CLOSED MEETING RESOLUTION

Moved by Tundra Baird, seconded by Brad Case

“THAT pursuant to Section 92 of the Community Charter, the regular meeting convene In-Camera to deal with matters deemed closed to the public in accordance with Section 90 (1) (k) of the Community Charter.”

CARRIED

ADJOURNMENT

The regular meeting reconvened at 11:26 am

Moved by Tundra Baird, seconded by Brad Case

“THAT the September 26, 2018 regular meeting of the Enderby and District Services Commission be adjourned at 11:26 a.m.”

CARRIED

CHAIR

CORPORATE OFFICER

THE CORPORATION OF THE CITY OF ENDERBY

MEMO

To: Enderby & District Services Commission
From: Tate Bengtson, CAO
Date: January 17, 2019
Subject: Cemetery Land Use Plan Report

RECOMMENDATION

THAT, following a presentation by Lees & Associates, the Enderby & District Services Commission provides feedback on the proposed Land Use Plan;

AND THAT the Commission directs staff to report back during the annual budget process with an implementation plan for the short-term recommendations.

BACKGROUND

As part of its 2018 budget, the Commission supported proceeding with a Land Use Plan for the Cliffside Cemetery (“the Cemetery”). Given anticipated demand and diversifying public preferences, the Land Use Plan is critical to the long-term development of the Cemetery. It will inform investment for several decades and will ensure that sound planning is in place to enable the Cemetery to meet contemporary expectations while building upon its defining characteristics.

Lees & Associates, a consultant with significant experience in the field, was retained to provide an analysis and recommendations on the Cemetery so that improvements could be done in a coordinated manner. Key considerations included:

- locating columbaria;
- enhancing the cremation section;
- assessing public demand for options such as a memorial wall, scatter garden, and green burial; and
- examining site improvements such as fencing, buffering, and the road network.

Lees & Associates hosted an open house to gather feedback and has visited the Cemetery on multiple occasions. The consultant then interviewed City staff, the maintenance contractor, and industry stakeholders. The consultant also performed a sales and demographic analysis to quantify local demand expectations, which is important for ensuring that available space is used

as effectively as possible. This information formed the basis for the Land Use Plan and informed Lees & Associates' design recommendations and proposed implementation sequence.

The plan itself is located on page 40 of the attached report; for ease of reference, a copy of the plan is attached immediately following this memorandum.

Among the recommendations presented in the Plan are:

- Entry and arrival area improvements, including a water pump, screening, and a new gate;
- A memorial wall and an expanded cremation section;
- Several columbaria locations;
- Utility shed relocation;
- Trees in the new section;
- A central amenity area with a rock monument;
- A naturalized upper section that would transition from casket burials to green burial, interspersed with walking paths and smaller columbaria.

The proposed improvements are designed to be implemented over the course of 25 years. Given this, some of the projections and estimates are high-level and are intended for long-range planning purposes. The proposed improvements have been prioritized in a way that addresses the key public expectations up front, to the extent possible given current pricing and budgets.

The projects presented within the 5-year timeline shown on page 54 are feasible to implement on that schedule, although this timeline may be influenced by the extent to which the Commission wishes to finance some of the interment options up front rather than through pre-sales. Progress with respect to the projects on the 10-year timeline is more dependent upon future pricing and budget considerations.

The projects on the 25-year timeline are all valuable and reflect public sentiment; however, as this moves into long-range considerations, the timelines will naturally be more flexible and, as the report states, "items in this phase can be installed on an as-needed basis." As the majority of the expenses occur in this third phase, there will be considerable opportunity for elected officials to determine the sequence for "as-needed" items. Moreover, as this plan is a roadmap rather than a prescription, there will also be ample opportunity to advance or defer projects based upon evolving community expectations; the key thing at this point in time is that there is an agreed-upon notion of *where* these projects should be located and *what* these projects should look like in order to fit into a coherent design, and *how* we should be preparing to invest in the Cemetery.

Respectfully submitted,



Tate Bengtson
Chief Administrative Officer

Concept B: Preferred Land Use Plan "Rustic/Naturalized"



- 1 Cemetery Entry:** new, weathering steel gate + restored brick pillars. Shrub clearing for visibility
- 2 Entry Drive:** wood screen fence panels + evergreen hedge
- 3 Arrival Area:** feature water pump for visitor use. New cemetery map and register
- 4 Park Area:** family columbaria within "park zone" and with cut stone benches
- 5 Memorial Wall:** new 1.5 m retaining wall with stone cladding and inset panel for sandblasted names; hedge planting on top
- 6 Upper Cremation Garden:** with in-ground cremation lots + linear columbaria walls
- 7 West Edge & Lower Cremation Garden:** wooden screen fence on segmental concrete retaining wall. Improvements to cremation burial area including stone shard surfacing + scattered groundcover plantings
- 8 Single Sided Columbaria** and memorial wall with stone pavers and low, native groundcovers
- 9 Work Shed:** accessible from existing road, to be screened by vegetation

LEGEND

-  Columbaria
-  Entrance
-  Water Line



Approx. area of 265 casket lots = 1192.5m²
Estimated interment lots: 920, at 5' x 10'

NOTE: Capacity figures provided are estimates of the maximum number of lots that could be created according to the current grave sizes, information provided by the City of Enderby.

Actual capacity could be less due to subsurface conditions (such as tree roots, soil conditions, and undocumented infrastructure and interments), or other issues not currently known and accounted for. Further research and site work is required to proof and refine these estimates

- 10 Street Trees and Irrigation:** cemetery drives "street tree" plantings
- 11 South Edge:** vegetation on southern edge to be thinned and maintained
- 12 Northeast edge:** potential new (open) perimeter fencing
- 13 Columbaria:** native shrub planting and columbaria space on former gazebo site
- 14 Central Amenity Space:** monumental rock feature, constructed from local stone slabs + boulders. Native evergreens, slab stone seating around scattering garden
- 15 New Development area Amenity Space:** scattered columbaria units in wooded setting in "tear drop" road loop. Footpath with perimeter in-ground cremation lots
- 16 New Development area Casket Burial**
- 17 Green Burial Section**
- 18 Nature Walk:** pathway established through existing woodland area. Scattering opportunity within
- 19 Old Section Interpretive Signage:** natural and culture interpretive signage in old section
- 20 Roadways:** remove curbs and road resurfacing, excluding old section roads



CLIFFSIDE CEMETERY, ENDERBY CEMETERY LAND USE PLAN

Project: Cemetery Land Use Plan
Client: Enderby and District Services
Commission
Date: November 30, 2018

LEES
+
ASSOCIATES

Executive Summary

The Enderby and District Services Commission retained LEES+Associates Cemetery Planners to prepare a Cemetery Land Use Plan for Cliffside Cemetery in April 2018. This Plan presents a development strategy that builds on Cliffside Cemetery's defining characteristics, optimizes its significant rustic, heritage values, and provides a road map to help position the cemetery to accommodate future demand in a way that fits with contemporary public expectations. Note that references to the Enderby LHA (Local Health Area) provide statistical data for Enderby and Area F as a whole.

Key Findings and Recommendations

Community Needs and Trends

Over the past 5 years:

- The death rate in the City of Enderby and Enderby LHA 078 averaged 14.7 per thousand;
- 84% of residents of the City of Enderby and Enderby LHA 078 chose cremation;
- 16% of residents of the City of Enderby and Enderby LHA 078 chose casket burial;
- Of the City and LHA 078 residents that chose casket burial, 51% were interred in Cliffside Cemetery, and
- Of the City and LHA 078 residents that chose cremation, 28% were interred in Cliffside Cemetery.

Over the Next 25 years (from 2018 - 2042):

- As the Baby Boom Generation approaches its statistical life expectancy, there will be a steady increase in the demand for Cliffside Cemetery services;
- The aging of the population will lead to an increased need for cemetery and funeral-related goods and services starting in 2021, when the oldest of the Baby Boomers reaches the age of 70;
- It is projected that there will be a total of 2,900 deaths from within the LHA 078;
- It is projected that this will lead to 300 casket burials and 2,600 cremations within LHA 078;
- Disposition rates at the cemetery are expected to average 10% in-ground burials and 90% cremation interments, with the preference for casket burials expected to decline steadily between 2018 and 2042;
- The Cemetery is projected to sell 265 casket and 500 cremation lots (or niches) from 2018 to 2042 (based on the historically high level of preneed to at-need sales);
- The Cemetery is projected to inter 165 caskets and 730 cremated remains at Cliffside Cemetery, from 2018 to 2042, and
- 19% of interments at the Cliffside Cemetery will be of caskets and 81% will be of cremated remains.

Operations and Maintenance

Key findings include:

- The private contractor responsible for the maintenance of the cemetery focuses on lawn care, and removing tree litter (primarily in the old section) and garbage/debris;
- As marmots have been identified as an on-going issue at Cliffside Cemetery, a summary report regarding marmot control has been provide.

Stake holder Engagement

An Open House was held at the City of Enderby's City Hall on August 14, 2018. The event included a presentation, display boards illustrating the consultant team's site analysis, opportunities and constraints, preliminary ideas and precedent images. Attendees participated in a discussion period, and a questionnaire was made available at the event and on-line, to enable area residents to share their opinions about the site. The consultant also interviewed three local funeral directors, the cemetery maintenance contractor, and City Staff involved with Cliffside Cemetery.

Key Findings include:

- The existing ambiance, quiet, private setting and rustic, park-like atmosphere of the cemetery is appreciated by both visitors and the Staff associated with the cemetery;
- The mature trees in the old cemetery are valued;
- Areas that visitors and staff like the least include:
 - The new section lacks trees, creating an open space with no shelter and little character;
 - The overall cemetery lacks a sense of unity and design coherence;
 - The current level of upkeep is below expectations and wishes of some residents;
 - There is a lack of interment options available, and
 - The west edge and cremation areas are unattractive and in need of additional care.
- Suggested improvements include:
 - Installation of columbaria structures;
 - Upgrading of the entry area and gate, and
 - Improved signage.
- The majority of the respondents stated that they plan to inter cremated remains at Cliffside Cemetery in the future, which indicates demand for cremation interment and potentially new options;
- There was moderate interest in potential for a memorial wall and a green burial area, and
- Funeral directors and City staff expressed concern regarding the lack of compliance and difficulty enforcing the Cemetery's Bylaw.

Existing Conditions

The consultant team visited Cliffside Cemetery on four occasions. The following five key areas of the site were identified:

- The entry area;
- The central area;
- The old section of the cemetery;
- The new section of the cemetery, and
- The undeveloped section.

Presentation materials displayed at the Open House were kept on display at City Hall after the event. These graphics are provided in the Chapter 6: Existing Conditions and Preliminary Design.

Bylaw Recommendations

Through the engagement process, it became clear that some of the issues at Cliffside Cemetery relate directly to the Cemetery Bylaw. A full Cemetery Bylaw update is recommended, and the key points of the updated Bylaw should be posted at the Cemetery to inform visitors and to equip the City to enforce its regulations. The City's active enforcement of its Cemetery Bylaw is a key part of realizing improvements at Cliffside Cemetery.

Concept Development and Implementation

The five key areas identified by the consulting team were reviewed in detail. *Graphics and detailed descriptions are provided in Chapter 8: Concept Development and Implementation.*

Two preliminary concepts were developed in response to stakeholder input, both of which address the same key areas but with different approaches. These are: **Concept A: Traditional** and **Concept B: Rustic / Naturalized**. Based on input from City Staff, Concept B was selected and refined to become the Preferred Land Use Plan. The following is a list of the suggested improvements illustrated on this Plan:

1. Cemetery entry: new "weathering steel" gate with restoration of the existing pillars. Clearing of entry vegetation and re-landscaping for improved visibility and a more welcoming effect.
2. Entry Drive: wooden fencing and evergreen hedging to screen views.
3. Arrival Area: a rustic, feature water pump for visitor use. A new cemetery map, signage and a grave register.
4. Park Area: Future family columbaria and natural stone benches, plantings and site furnishings.

5. Memorial Wall: new 1.5 metre tall retaining wall with stone cladding and panels for names of those scattered in the Cemetery's proposed scatter garden; with a hedge along its west edge.
6. Upper Cremation Garden: improved in-ground cremation lots, a new scattering garden with a pathway, cremation borders and new columbaria walls.
7. West Edge and Lower Cremation Garden: wooden screen fence on segmental concrete retaining wall. Improvements to cremation burial including stone cobble mulch with low alpine perennials.
8. Single-sided Columbaria and a memorial wall with stone paving and native groundcovers.
9. Work Shed: new location, accessible from existing road, screened by vegetation.
10. Street Trees and Irrigation: cemetery drives planted with "street trees" along their edges.
11. South Edge: vegetation on southern edge to be thinned and managed.
12. Northeast Edge: restored perimeter fencing.
13. Columbaria: native shrub planting and columbaria space on the former gazebo site.
14. Central Amenity Space: monumental rock feature constructed from local stone boulders and slabs to evoke the nearby Enderby Cliffs. Native evergreens, slab stone seating and a scattering garden.
15. New Development Area Amenity Space: columbaria units set in woodland context within the "tear drop" road loop. Footpath with perimeter in-ground cremation lots.
16. Expanded Casket Burial Sections: estimated capacity of over 900 new lots (well beyond the 25 year projected demand for casket lots, estimated at 265 lots by 2042).
17. A Proposed, New Green Burial Section with capacity for burials with restoration to native vegetation.
18. Nature Walk: pathway through existing woodland with opportunities for scattering throughout.
19. Old Section Interpretive Signage: natural and cultural interpretive signage at key locations.
20. Roadways: corner curbing removed and resurfaced roads in the new section.

Cost Estimate and Phasing

A Budget-level cost estimate was developed for the 20 conceptual design areas identified on the Preferred Concept. *This cost estimate is discussed in Chapter 9: Preliminary Cost Estimate, and provided in Appendix 1.*

A Phasing Plan was developed in response to the input received from the community, Staff and Stakeholders, site visits/analysis, and the professional expertise of the consultant team. This Plan presents a priority-based approach to implementation in three phases: Years 1- 5; Years 5- 10, and Years 11-25.

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1. Introduction

1.1 Project Scope

The Enderby and District Services Commission retained LEES+Associates Cemetery Planners to prepare a Land Use Plan for Cliffside Cemetery in April 2018. The following is the outcome of this initiative.

This Plan is based on an analysis of local demographics and interment data, site reviews and stakeholder input in combination with the consultant's understanding of current and emerging cemetery practices. The Plan offers recommendations for site development to optimize interment capacity, and suggests ways to achieve long-term sustainability while better serving the residents of the City and the surrounding Regional District of North Okanagan Electoral Area F. This Plan includes a physical Land Use Plan graphic that illustrates the proposed site development. Together the Land Use Plan and graphic present cemetery improvements that align with public expectations and build on Cliffside Cemetery's existing, defining characteristics.

This Cemetery Land Use Plan includes the following sections:

- A brief introduction;
- A summary of community needs and trends, including a review of Enderby's population, age, ethnic and religious profile, death cremation and burial rates, as well as the cemetery's sales and interment trends;
- An outline of current and potential cemetery products and services with a review of current pricing and recommendations for pricing of possible new interment options;
- A summary of site operations, maintenance and options for pest control;
- A summary of stakeholder input;
- An inventory of current opportunities and constraints, design options and preliminary designs;
- Bylaw recommendations;
- The preferred conceptual site development and Land Use Plan, and
- A cost estimate and implementation plan for development of the current cemetery over the next 25 years.

1.2 Cemetery Site Overview

The City of Enderby owns the Cliffside Cemetery at 169 Enderby-Grindrod Road. Named for its proximity and views to the Enderby Cliffs, Cliffside Cemetery was established in 1913. Prior to this, area residents had been interred in the small Lansdowne Cemetery on McLeery Road in Spallumcheen, in the “Enderby” section.

Cliffside Cemetery spans 3.2 hectares (7.9 acres) in size and has approximately 3,300 casket and cremation graves (“lots”). About 86% of these lots are occupied. The cemetery is managed by the Enderby-Area F Services Commission and is intended to serve residents of the City of Enderby and the surrounding North Okanagan Regional District, Area F.



Figure1: Aerial view of Cliffside Cemetery in Enderby, BC. Source: Google Earth 2018

2. Community Needs and Trends

This chapter identifies the age distribution and population profile of the area served by Cliffside Cemetery, and the death, cremation and burial trends relevant to its land use and service options.

The purpose of this review is to determine the factors that should inform the cemetery's long-term financial planning, the layout of the undeveloped area, and the design and management of the overall site to best serve local residents over the next 25 years.

2.1 Demographic Characteristics

This section of the report outlines the demographic variables that will affect future need for interment space in the Enderby and rural Enderby area. These variables include:

- Age distribution;
- Historic and projected population growth;
- Historic and projected deaths, and
- Ethnicity and religion.

This analysis assumes the primary communities served by Cliffside Cemetery is the City of Enderby, and the RDNO Area F (Area F). The secondary community that the Enderby cemetery may serve includes residents from the nearby small communities and rural areas. This overall area is located approximately 80 km north of Kelowna and 130 km east of Kamloops.

The rural area surrounding Enderby is made up of the communities of Ashton Creek, Grandview Bench, Grindrod, Kingfisher, Mara, Splantsin Reserve, Springbend and Trinity Valley, representing an area of 2,108.46 square kilometers.

Administratively, the cemetery is intended to serve residents of the City of Enderby and the surrounding rural area within the Regional District of North Okanagan Electoral Area F. Residents of both the City of Enderby and the Regional District of North Okanagan Area F (Area F) pay the "Resident" rates provided in the City's cemetery bylaw.

Death and disposition stats collected by the Province of BC are considered health information and are aggregated according to Local Health Areas (LHAs). The LHA for the Enderby area is LHA 078. Like many LHAs, LHA 078 does not reflect local government boundaries; however, to keep the analysis accurate, discussions in this section reflect LHA rather than political boundaries. In spite of the discrepancy, for the purposes of this Land Use Plan, the recommendations in this Plan are relevant.

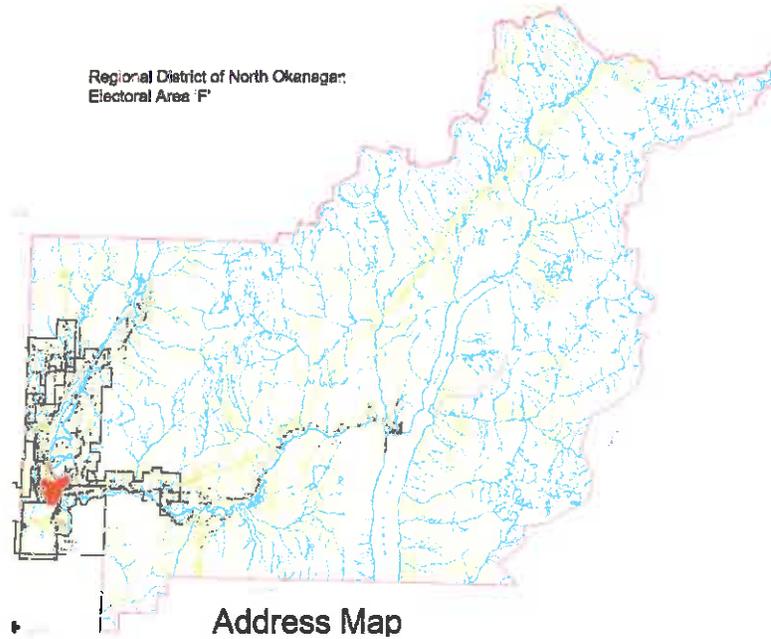


Figure3: Map of Regional District of North Okanagan Electoral Area 'F', Source: Regional District of North Okanagan.

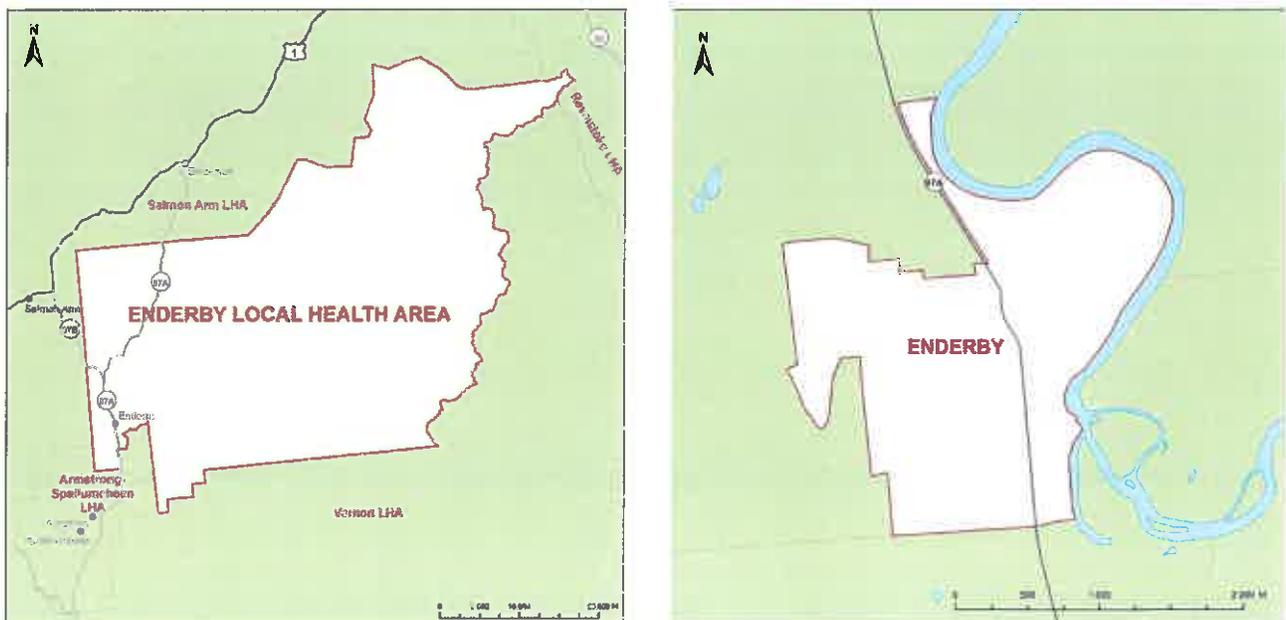


Figure2: Map of the City of Enderby and Enderby Local Health Area 078, Source: PHSA BC Community Profile 2017

1 Referred to by Statistics Canada as Census Division, North Okanagan F, RDA.

Age Distribution

The population living in the City of Enderby is about 42% of the population living in LHA 078. An analysis of the 2016 census data for the City of Enderby shows that:

- Fifty to sixty year olds are the largest segment of the population, and
- The average age of residents is 47.7, which is higher than the average age of BC residents, at 43.2.

These demographics are, for the purposes of this Plan, largely consistent with Area F.

The following figures compare the current age distribution profiles of the City of Enderby and the Province of British Columbia.

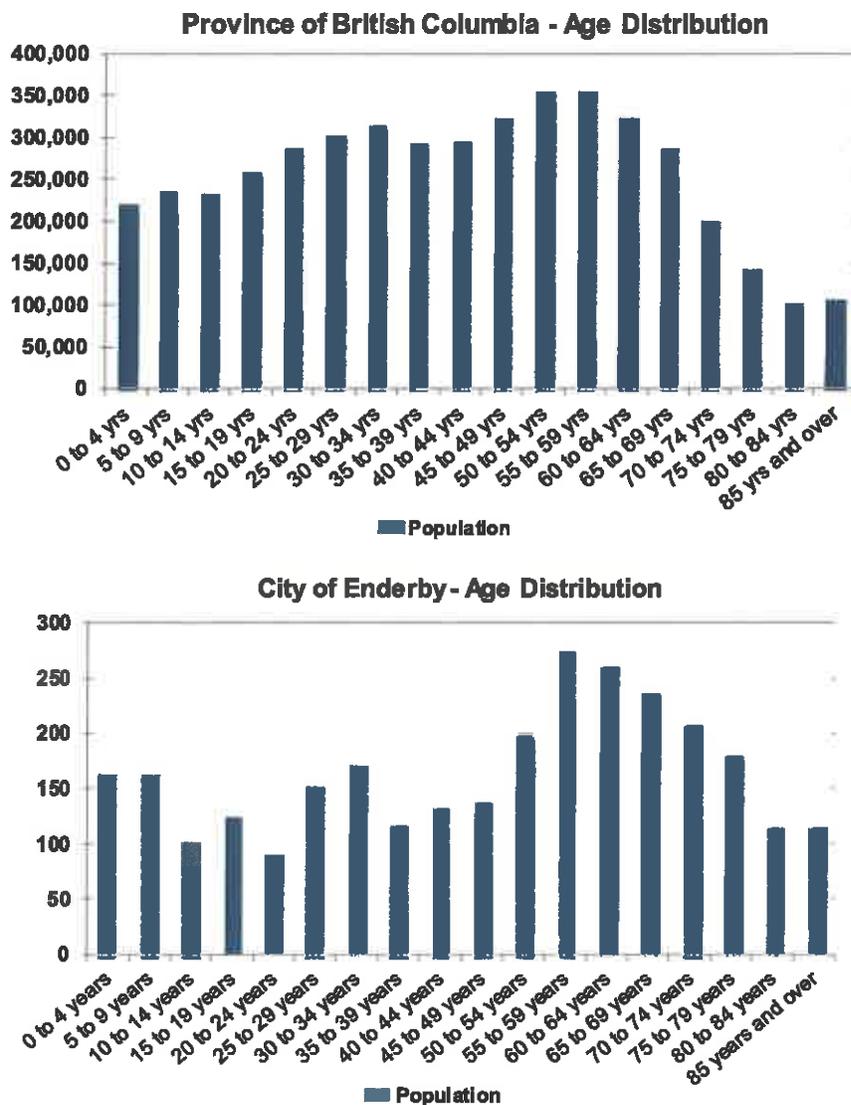


Figure4: Age distribution of the City of Enderby and British Columbia, Source: Statistics Canada

Historic and Projected Population Growth

The demographic projections used in this plan are from the BC Stats' population estimates for the next 25 years for the Local Health Area. The term "community served" used in this section refers to the number of people who have died or are projected to die within the City or the Local Health Area over a given period.

The following table summarizes the City and Local Health Area's historic and projected population statistics:

Community Served	Population 2012	Population 2017	Average Growth 2012-2017	Population 2042	Average Growth 2018- 2042
City of Enderby	2,871	2,982	0.80%	3,357	0.50%
Enderby LHA 078	7,646	7,118	-1.40%	8,011	0.50%

Table 1: City of Enderby and LHA 078 Historic + Projected Populations, Source: BC Vital Stats, BC Stats and Statistics Canada 2011 + 2016

This study assumes the population of the City of Enderby surrounding area will remain fairly steady over the next 25 years, at the maximum expected annual growth rate of 0.5%. Under these conditions, the population served by Enderby's Cemetery is forecast to increase by 13% over the next 25 years.

Historic and Projected Deaths

The "Baby Boom" generation in Canada includes those born between 1952 and 1965³. As this large cohort reaches its life expectancy, the average death rate is expected to increase and the need for cemetery services is expected to rise.

The average life expectancy for this cohort is about 80 years. By 2031, average life expectancy is projected to rise to 82 for males and 86 for females, with the gap between the sexes continuing to narrow.⁴

Statistics Canada expects the aging of the population will cause an increase in the need for cemetery and funeral-related goods and services starting in 2021, when the oldest of the Baby Boom generation reaches the age of 70. The number of deaths is expected to increase towards 2045, when the youngest members of this cohort turn 80.

² BC Government Statistics Sub-provincial Population Projections - P.E.O.P.L.E. 2017 (July 2017) <https://www2.gov.bc.ca/gov/content/data/statistics/people-population-community/population/population-projections>

³ "Canada's Baby Boom Is Nothing Like the One in the US," Robert L. Brown, Past President of the Canadian Institute of Actuaries, expert advisor EvidenceNetwork.ca, http://www.huffingtonpost.ca/robert-l-brown/canada-baby-boom_b_6478760.html

⁴ Statistics Canada, Life Expectancy, <https://www.statcan.gc.ca/pub/82-229-x/2009001/demo/lif-eng.htm>

The following table compares the City and Local Health Area's historic and projected death statistics:

Community Served	Annual Deaths 2017	Deaths per 1,000 in 2017	Annual Deaths 2042	Deaths per 1,000 in 2042
City of Enderby	44	14.7	55	16.2
Enderby LHA 078	105	14.7	130	16.2

Table 2: City of Enderby and LHA 078 Historic and Projected, Deaths and Death Rates, Source: BC Vital Statistics and LEES+Associates.

An analysis of historic and projected death statistics finds that:

- There were 227 deaths in the City of Enderby 2013 to 2017, averaging 45 per year.
- There were 440 deaths in LHA 078 2013 to 2017, averaging 88 per year.
- In the next 25 years, 1,250 City deaths will occur, averaging 50 per year;
- In the next 25 years, 2,900 LHA 078 deaths will occur, averaging 116 per year, and
- Over the next 25 years, the number of annual deaths will increase because of slow population growth and an increasing death rate due to the aging of the Baby Boom generation.

Religious and Ethnic Demographic Profile

Religious and ethnic affiliations influence an individual's decisions regarding whether and how they may wish to be interred in a cemetery.

An example of ethnic preference is the desire of many Italian and Portuguese families for interment in a mausoleum or columbarium niche rather than a grave, which reflects the customs and traditions of their place of origin.⁵

An example of religious preference is the desire of Orthodox Jews for casket burial, as their faith forbids cremation. (Reform and Conservative Jewish authorities also frown on the practice, although cremation is growing in popularity in the Jewish community across the world).⁶

An understanding of the religious and ethnic profile of Enderby's residents is helpful in understanding the likely range of requests for Enderby's cemetery services.

⁵ Space and ethnic practices put heavy demands on cemeteries <https://www.sbs.com.au/news/space-and-ethnic-practices-put-heavy-demands-on-cemeteries>

⁶ Cremation Becoming Increasingly Popular Among Jews, Funeral Professionals Say <https://www.haaretz.com/jewish/news/cremation-becoming-increasingly-popular-among-jews-funeral-professionals-say-1.447873>

Religious Affiliations

Since Vatican II in 1962⁷, cremation has been permitted by the Catholic Church, provided cremated remains are kept together (not scattered).

Some types of Christianity oppose cremation, including minority Protestant and Orthodox groups, such as Greek and Serbian Christians. Most notably, the Eastern and Oriental Orthodox Churches forbid cremation. Residents with a Catholic affiliation are more likely to choose interment in a cemetery due to church-mandated funeral and burial customs.⁸

Christianity is the most prevalent religion in the City of Enderby and Area F at 55% of the resident population. The largest proportion of residents that are affiliated with Christianity identify as Catholic, though the largest single group identified in this study are those residents that report having no religious affiliation at all.

Some groups encourage or even mandate cremation; other groups discourage or even forbid cremation and mandate specific forms of interment. As a result, it is likely that there will always be a segment of the population that prefers traditional in-ground casket burial.

In Canada, ethnic and religious information is collected by the census and aggregated by census subdivisions. The data in this section therefore reflects data for the City of Enderby only; however, for the purposes of this Plan, this information should be understood to represent the City and LHA 078.

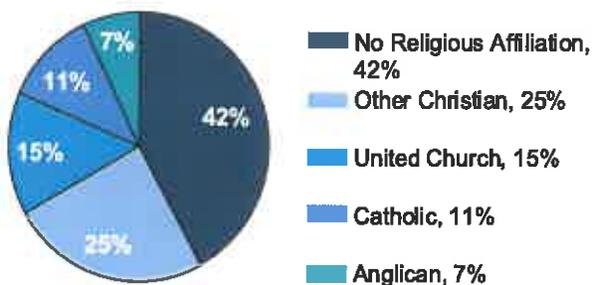


Figure5: City of Enderby's Religious Profile, Source: Statistics Canada.

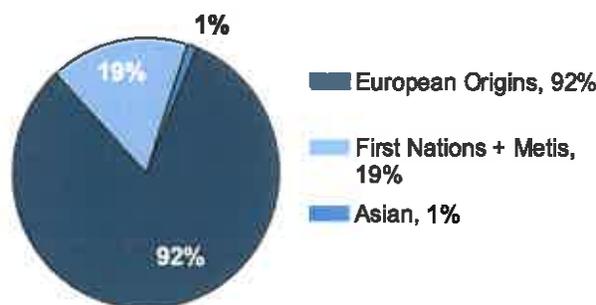


Figure6: City of Enderby's Ethnic Profile, Source: Statistics Canada.

⁷ Changing Catholic Attitudes about Cremation <http://www.catholicworldreport.com/2012/11/03/changing-catholic-attitudes-about-cremation/>

⁸ Vatican issues new rules on Catholic cremation- Remains cannot be scattered, divided, or kept at home <http://www.cbc.ca/news/world/vatican-catholic-cremation-1.3820336>

2.2 Disposition Trends

National Cremation Rate

Disposition describes the manner in which the body is handled after death. According to Canadian provincial and US state records, the most common disposition options in North America are casket burial and cremation. Cremation is the preferred disposition option across most of Canada.

The national average cremation rate rose from 58.6% in 2007 to 70.5% in 2017. It is expected to continue to rise across the country.

The following map illustrates the preference for cremation in Canadian provinces and territories as of 2017.

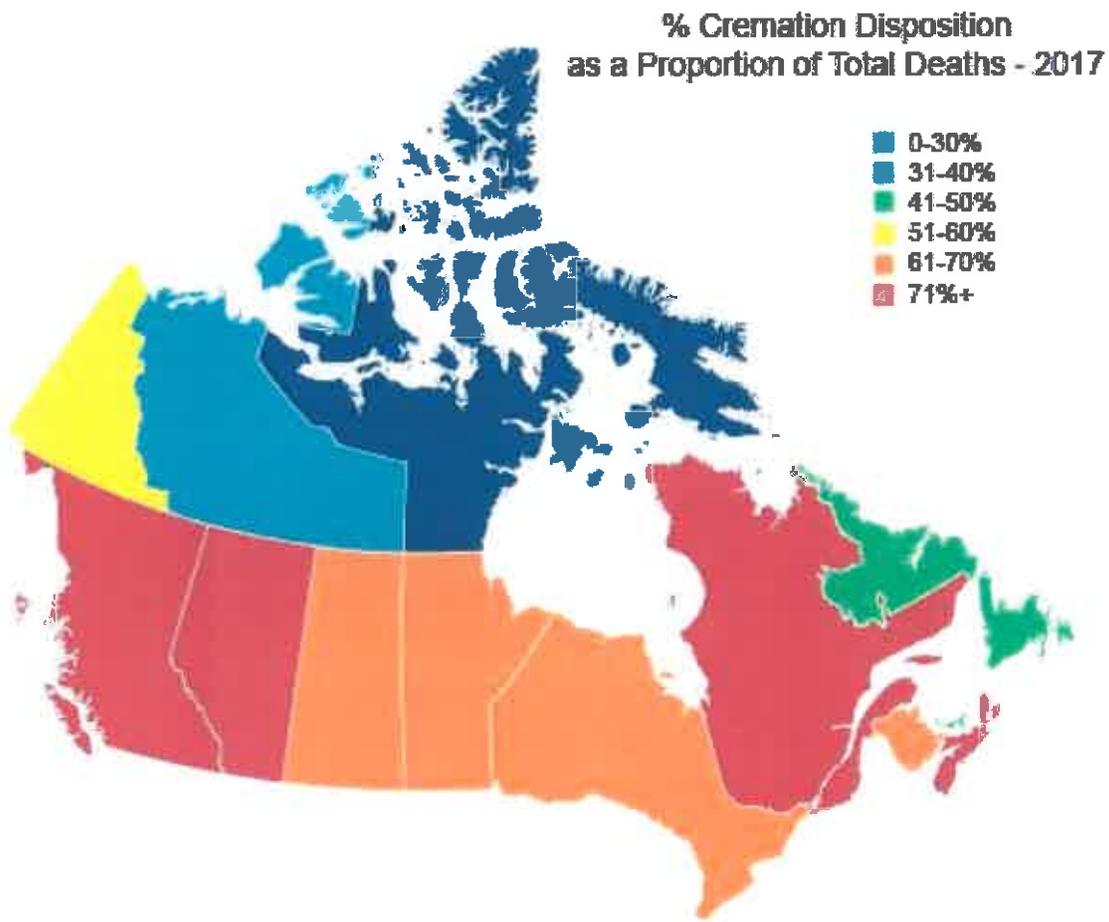


Figure 7: 2017 Canadian Cremation Rates Map, Source: Cremation Association of North America (CANA).

Provincial Cremation Rate

Currently, there are about 35,000 deaths per year in British Columbia, and of these, about 28,500 are cremations. The cremation rate in BC has increased from 83.4% in 2013 to 85.2% in 2017.

The Cremation Association of North America (CANA) predicts that BC’s cremation rate will continue to rise to reach 87.4% by 2022.

Local Cremation Rate

Over the past five years, there was an average of 88 deaths per year in Enderby LHA 078, which led to an annual average of 74 cremations. The cremation rate in Enderby has increased from 83.1% in 2013 to 84.9% in 2017.

The trend analysis in this study assumes that the local cremation rate will continue to grow at approximately the same rate predicted for the Province by CANA.

Given the City’s ethnic and religious demographic profile and our professional expertise, we anticipate that cremation will not rise beyond 90% of dispositions over the next 25 years.

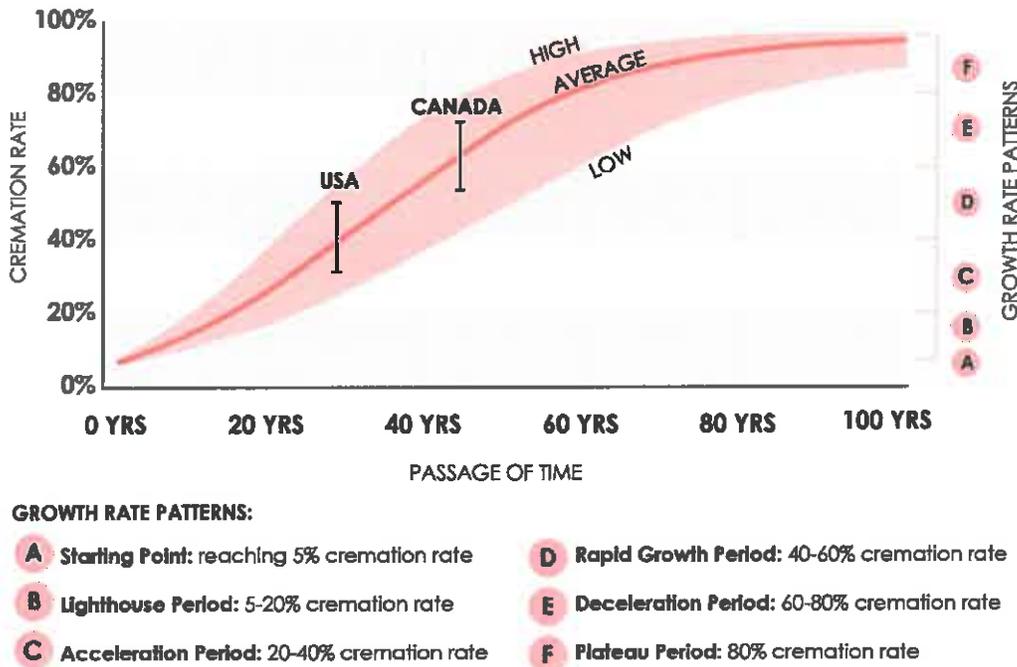


Figure8: Graph of Change in Cremation Rates Over Time, Source: CANA 2017 Vol 53 No 2

2.3 Defining the Community Served - Total Catchment Area

Community Demographic + Disposition Profile

The following graph summarizes the demographic and disposition profile of residents in the area served by Cliffside Cemetery from 2013 to 2017. In this graph, population data aligns with the left vertical axis, while death, cremation and casket burial data align with the right vertical axis.

It should be noted that the figures cited in this section reflect LHA 078 data. The graphs reflect actual figures for Enderby LHA 078.

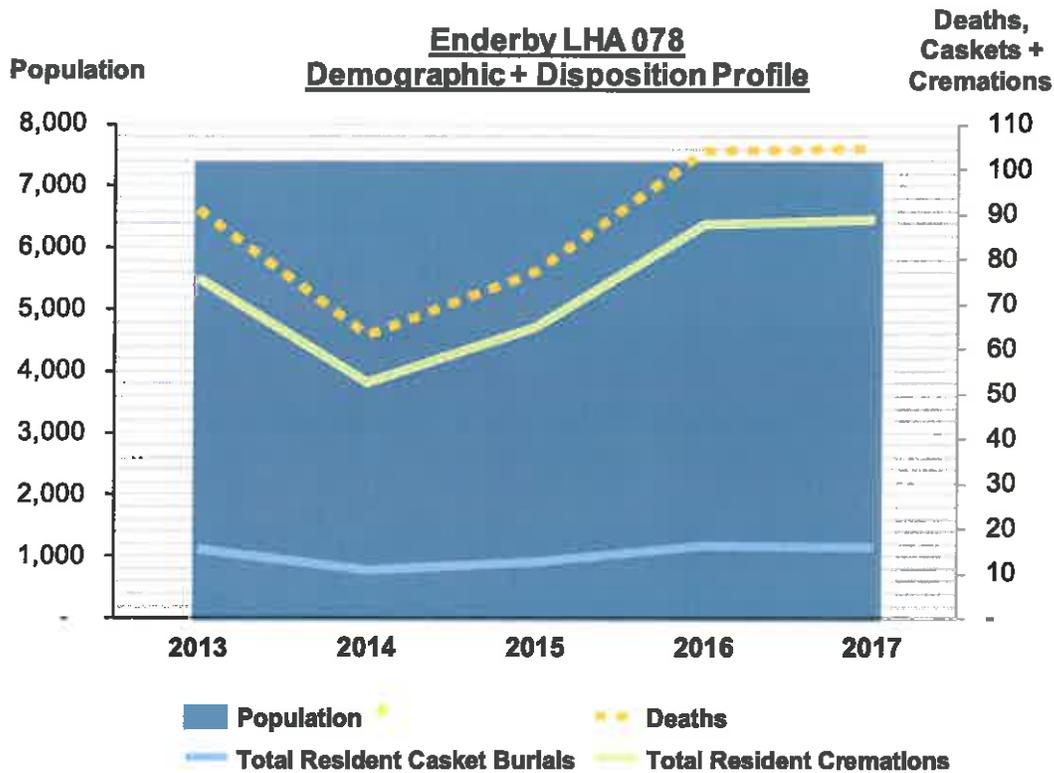


Figure9: City of Enderby LHA 078 Demographic & Disposition Profile, Source: LEES+Associates.

Over the past five years, from 2013 to 2017:

- 440 deaths occurred within the LHA 078, averaging 88 per year;
- 70 deaths among LHA 078 residents resulted in casket burial, averaging 14 per year, and
- 370 deaths among LHA 078 residents resulted in cremation, averaging 74 per year.

2.4 Defining the Community Served By The Cemetery

Historic Sales and Interments

The “community served” is the actual number of sales and interments that take place in a cemetery each year (in this case, in Cliffside Cemetery) as a proportion of the total number of deaths that occurred in LHA 078 in the same year.

The following graph summarizes Cliffside Cemetery’s historic sales and interments from 2013 to 2017.

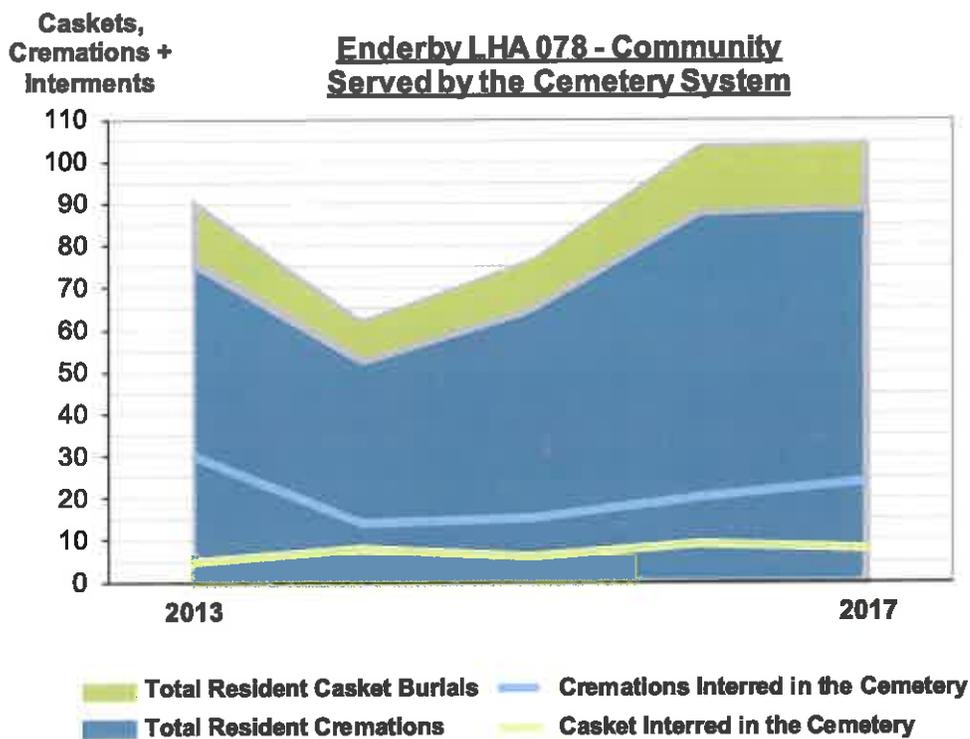


Figure10: Community recently served by the cemetery, Source: LEES+Associates.

An analysis of cemetery interment figures from 2013 to 2017 show that:

- The cemetery accommodated 23 casket and 62 cremation interments of residents (as defined by the Cemetery bylaw), averaging 5 casket and 12 cremation resident burials per year;
- The cemetery accommodated 26 casket and 41 cremation resident plot sales, averaging 5 casket and 8 cremation plot sales per year;
- The cemetery accommodated 13 casket and 41 cremation interments of non-residents, averaging 3 casket and 8 cremation non-resident burials per year, and
- The cemetery accommodated 27 casket and 29 cremation non-resident plot sales, averaging 5 casket and 4 cremation plot sales per year.

Most North Americans do not inter the cremated remains of their loved ones in a cemetery, but instead choose to keep them at home or to scatter them in a place of personal meaning. By law, full body (casket) burial can only take place in a designated cemetery. Most families choose burial of their loved one in a local cemetery, where they are easy to visit. There are no comparable regulations for cremated remains. In BC, the law permits scattering of cremated remains provided it does not involve trespassing, and that those scattering have the permission of the land owner. On average, 15% to 20% of families that choose cremation will eventually inter the remains in a cemetery.

Among those that choose burial, 80% to 90% of families will choose a grave in a cemetery in their community. The decision to choose a particular cemetery's services is affected by the attractiveness of the site, diversity of offerings, the competitive environment, as well as community engagement and marketing resources invested.

The Cliffside Cemetery is (at 51%) below average in serving the proportion of LHA 078 that choose casket burial. Cliffside Cemetery is (at 28%) above average in serving the proportion of LHA 078 that choose cremation. This suggests there is an opportunity for the cemetery to serve a larger proportion of people in nearby areas.

2.5 Projected Community Need

The following graph projects need for cemetery services from LHA 078 residents over the next 25 years. In this graph, population data aligns with the left vertical axis, while death, cremation and casket burial data aligns with the right vertical axis.

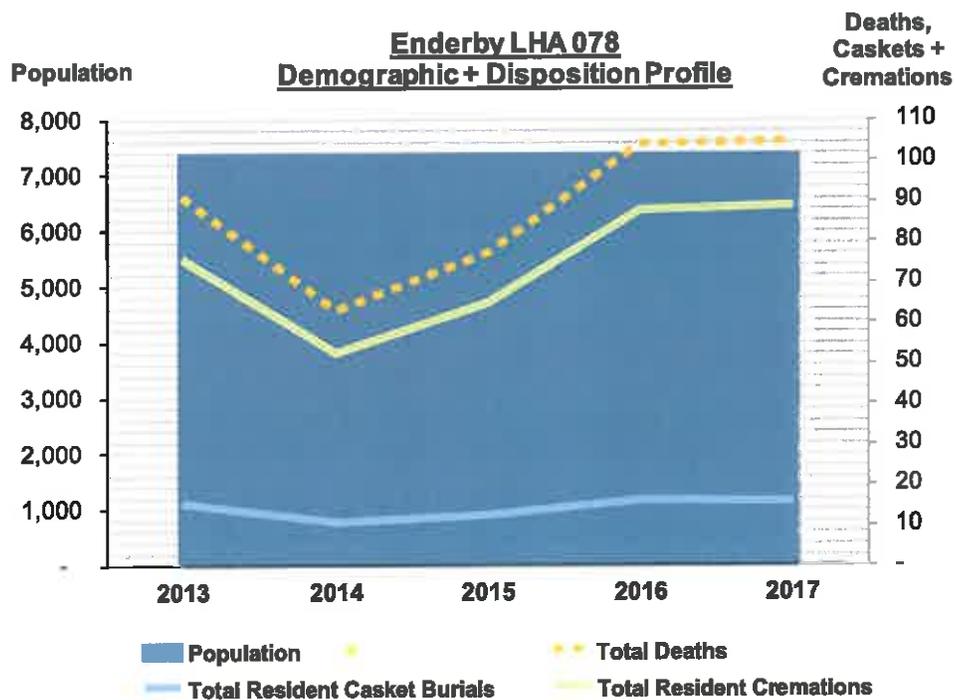


Figure 11: 25 Year Forecast of Community Served by Cliffside Cemetery Source: LEES+Associates.

This study predicts that over the next 25 years there will be:

- A total of 1,250 deaths from City residents and 2,900 deaths from LHA 078,
- An annual average 50 deaths from City residents and 116 deaths from LHA 078;
- 150 casket burials within the City and 300 casket burials from the LHA 078;
- An annual average 6 casket burials from City residents and an annual average 12 casket burials from the LHA 078;
- 1,100 cremations within the City and 2,600 cremations from LHA 078, and
- An annual average 44 cremations from City residents and an annual average 104 cremations from the LHA 078.

This study projects a slight increase in the LHA 078 residents choosing cremation from 89 to 117 per year over the next 25 years. The number of residents choosing casket burial will decrease from 16 to 13 over the same period.

2.6 Projected Sales and Interments

The following graph shows the casket and cremation interments that are projected to take place at the Enderby cemetery over the next 25 years.

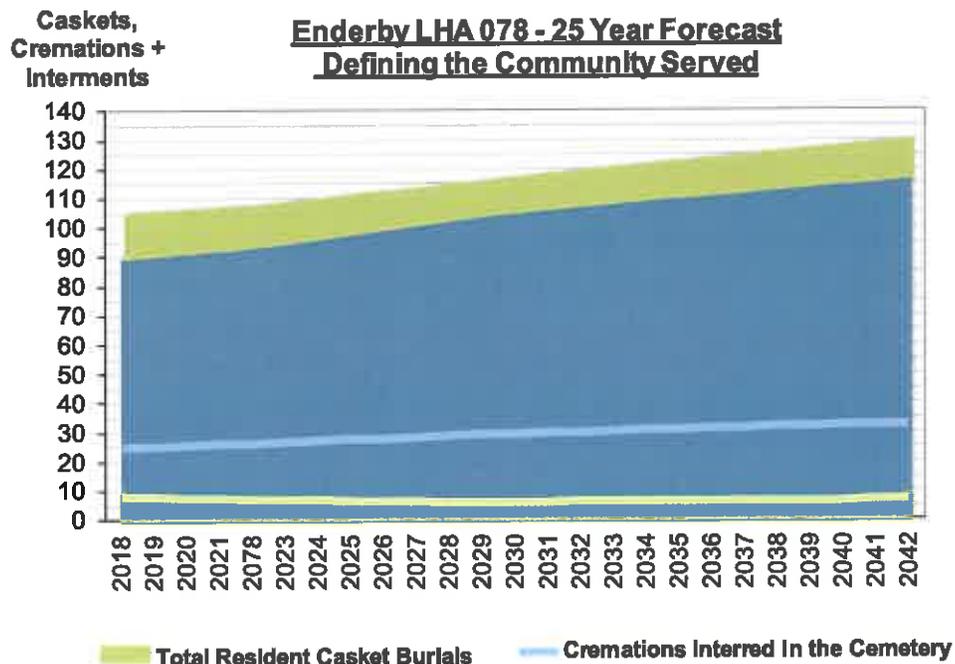


Figure 12: 25 Year Projection of Enderby’s Casket Burials, Cremations + Interments in Cliffside Cemetery, Source: LEES+Associates.

This analysis assumes that historic service rates, interment patterns, sales trends and average annual growth in the City's community served will remain consistent and continuous over the next 25 years. It also assumes the City will continue to develop inventory similar to its existing offerings at Cliffside Cemetery to meet the community's needs.

If historic trends continue over the next 25 years, The Cliffside Cemetery can expect to receive:

- 765 sales, averaging 30 sales per year. These sales include:
 - 265 lots sold for traditional casket in-ground burials (35%), and
 - 500 lots (or niches) sold for cremated remains interments (65%).
- 895 interments, averaging 36 interments per year. These interments include:
 - 165 traditional casket interments (19%), and
 - 730 cremated remains interments (81%).

North American interment trends find that approximately 25% of the families that bring cremated remains to cemeteries will choose columbaria niches if they are offered. Assuming LHA 078 residents follow a similar pattern, the Enderby Cemetery can expect to sell 125 columbaria niches and 375 cremation lots over the next 25 years.

2.7 Key Findings: Community Needs Trends

For the purposes of this Plan, the data presented below is similar to and applies to Area F.

Historic Demographic Trends, Interment Rates and Community Served

- In 2017, the City's death rate averaged 14.7 deaths per 1,000 residents, and
- 58% of City residents identify as Christian and 42% claim no religious affiliation. Individuals with Catholic affiliations (11% of residents) are the most likely to choose interment in a cemetery.

Over the past 5 years:

- 84% of City and LHA 078 residents chose cremation and 16% chose casket burial;
- The cemetery served 51% of LHA 078 residents choosing casket burial, and
- The cemetery served 28% of LHA 078 residents choosing cremation.

Projected Demographic Trends, Interment Rates and Community Served:

- Starting in 2021, as Baby Boomers begin to reach their life expectancy, there will be a slow but steady increase in need for cemetery services, which is expected to continue over the next 25 years.

Over the next 25 years there will be:

- 2,900 deaths in the LHA 078;
- 300 casket burials (10%) and 2,600 cremations (90%) of LHA078 residents, and
- 265 casket and 500 cremation inventory sold (based on the historically high level of preneed to at-need sales), and
- 165 caskets and 730 cremated remains interred.

3. Products and Services

This section reviews the offerings at Cliffside Cemetery and discusses potential new interment types that could be introduced.

3.1 Diversity of Cemetery Offerings

Cliffside Cemetery currently offers traditional, in-ground lots for the burial of caskets (sized for adults and children) and cremation lots for the burial of cremated remains. Grave liners are also sold to customers.

There is a diverse range of products and services that are available at other Canadian cemeteries that could be offered at Cliffside Cemetery. These include:

- Ossuaries;
- Green burial;
- Family vessels;
- Memorial walls;
- Columbaria niches;
- Mausoleum crypts;
- Family estates (in-ground lots and columbaria), and
- Memorialization options, including: memorial trees, statuary, wreaths, engraved wall plates, flower vases, and photo frames.

(It should be noted that the City and Area F have a Memorial and Gifting Policy outlining terms for donations for the purchase of amenities to be placed on public property. At Cliffside Cemetery, this is limited to benches; however City Staff supports reconsideration of the bench program in order to align with long-range land use planning.)

Columbaria are an increasingly popular form of disposition, providing families with an above-ground niche in a structure with stone shutters that are typically used for memorialization (on a plaque or sandblasted directly into the stone).

The rest of the offerings listed are common in Canadian cemeteries, with the exception of green burial and family vessels, which are relatively new interment options. They are described below.

Family vessels are a modern interpretation of an ossuary, which is a very old form of disposition that is common in areas where burial space is scarce. Family vessels are large, granite vessels that contain the cremated remains of members of one family, either as multiple, nested urns or as commingled remains. A new cemetery offering in Canada, Family vessels were recently introduced at Royal Oak Burial Park, Victoria (BC), Kelowna Memorial Park (BC), Town of Slave Lake (AB) and the Regional Municipality of Wood Buffalo (AB).

Since these vessels are a new interment option in Canada, introducing this type of offering would require marketing and appropriate placement. Typically, Family vessels can be strategically located in attractive positions, such as adjacent to a scattering garden, columbaria, or along pathways.



Figure13: Columbaria Niches
Source: LEES+Associates



Figure14: Family Vessel
Source: LEES+Associates

Green burial is a “new” concept in North America, having emerged over the past 30 years in Europe. Essentially a very traditional form of full body interment, green burial is attracting increased interest across North America. Green burial tends to appeal to people who wish to reduce the environmental footprint of their final disposition while helping them reconnect with the key events of life, including as death. Also known as “natural burial,” “country burial” or “woodland burial”, this type of interment is now being offered at sites across Canada.

Green burial is defined as traditional earth burial with:

- No embalming;
- No use of grave liners or vaults;
- Use of a fully biodegradable burial container (casket or shroud);
- Interment sites planted with only indigenous groundcover, and
- No individual markers or memorialization.

As well, green burial seeks to optimize land use and therefore supports efficient cemetery layouts and the concept of grave reuse where possible.

Religious communities that traditionally support green burial, which aligns with their traditional funeral practices, include members of Jewish, Muslim and the Bahá’í faiths.

Green burial has three core tenets:

- Social;
- Economic, and
- Environmental Sustainability.



Figure15: Royal Oak Burial Park, Woodlands Natural Burial Area, Source: LEES+Associates

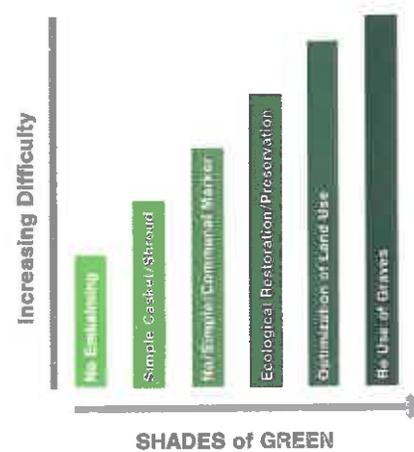


Figure16: Shades of Green in Green Burial Practices, Source: LEES+Associates

Green burial allows for slightly shallower excavations (1.2m / 4ft depth) compared with the 1.8m / 6ft depth of conventional burials. Excavated soils do not need to be removed, nor does the burial plot need to be replanted with turf grass. Families typically pay for the re-vegetation of burial plots with native plant materials, which gradually restores the area to a more natural condition.

Whether green burial areas are designed as meadows or woodlands, they generally require significantly less maintenance. They also can achieve a comparable or higher yield of lots per acre relative to traditional burial areas due to the lack of utility easements and the eventual removal and reclamation of access roads to create new grave space over time.

Consumer preference for environmentally-sustainable choices can make green burial an attractive service option and potentially a new revenue stream, particularly as green burial customers often come from the ranks of those who would otherwise choose cremation and be unlikely to be interred in a cemetery.

The majority of people that choose green burial do so for reasons other than cost. Reports from cemeteries currently offering green burials indicate that customers that choose this option cite their desire to fulfill personal values as a key factor in their choice. The price charged by Canadian cemeteries that offer green burial for a lot and interment of this type is equivalent to the price of a traditional burial.

In 2014, The Green Burial Society of Canada (GBSC) was established to promote and educate the public about green burial. In September 2018, the GBSC launched its "Approved Provider" program for cemeteries that offer green burial and wish to become GBSC-certified. Certification is awarded upon a cemetery proving its compliance with GBSC criteria. Although a new program, several cemeteries in BC and Ontario have already been certified.

More information is available at: <http://www.greenburialcanada.ca/find-a-provider/>.

3.2 Current Pricing Trends

The following figure shows the pricing continuum for typical Canadian cemetery offerings:

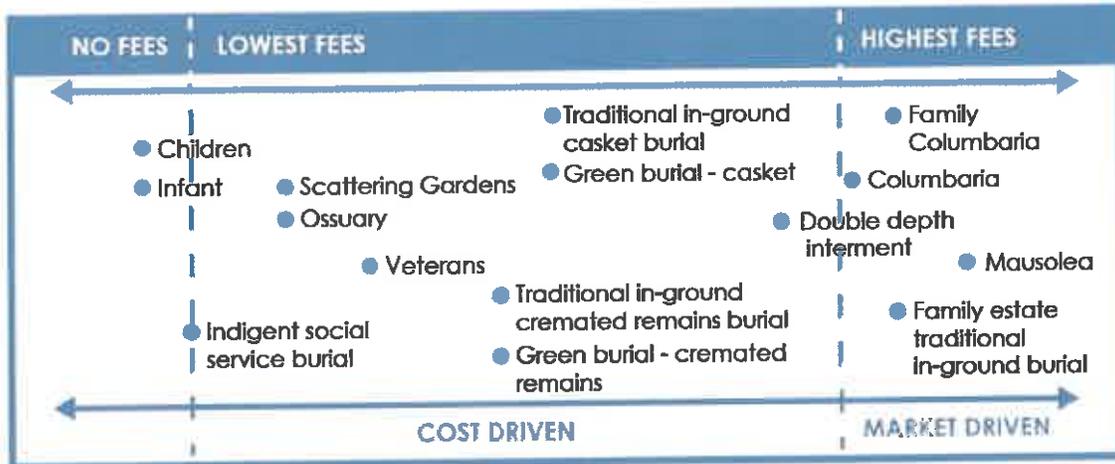


Figure17: Pricing Continuum for Typical Canadian Cemetery Offerings, Source: LEES+Associates

Cemetery pricing in Canadian cemeteries tends to follow consistent market trends. For example, large urban centres often have higher rates than small towns and rural communities due to the increased demand relative to local supply.

Cemeteries in large urban centres also tend to offer a greater diversity of offerings than small towns and rural communities. Families value a variety of interment options and are willing to pay appropriately to accommodate their cultural, religious and personal preferences. As indicated above, some Canadian cemeteries offer low cost or even free burial of infants or children on compassionate grounds. Most cemeteries provide veterans with discounted interment rates in recognition of their service.

3.3 New Interment Option Pricing

The proposed Land Use Plan for Enderby’s cemetery includes new columbaria niches and scattering gardens.

Columbaria niches are increasing in demand among British Columbia residents and can be profitable in most contexts. With cremation on the rise, columbaria niches are a key source of sales growth and help to conserve space in cemeteries.

Columbaria construction costs and thus the rate for columbaria niches, vary widely depending on size, design details and the amenities placed within the adjacent landscape. The average **national rate** for niches ranges from **\$1,250 to \$4,500**.

Regionally, the resident rate for the price of a columbaria niche in communities in the Okanagan area is **\$3,000 to \$3,700**; however, these communities are larger than Enderby and their cemeteries are generally more expensive.

The price of a niche in the nearby Armstrong Spallumcheen Cemetery is just under **\$1,000**. This is the minimum price per niche that the Commission should consider if it chooses to install columbaria at Cliffside Cemetery to offer this option to residents of the City of Enderby and Area F.

In general, niches located higher up and at eye-level on the unit are typically more desirable and are priced higher than niches located lower down. Ideally, columbaria should offer niches that appeal to a range of tastes and budgets.

It should be noted that most Canadian municipal cemeteries charge non-residents a premium ranging from 25% to 100% over their resident rates.

Scattering gardens are areas in a cemetery that provide an attractive natural or ornamental setting, dedicated to the scattering of cremated remains.

Canadian cemeteries typically offer the scattering of cremated remains in areas of flowering plants or in an ossuary from \$100 to \$400 per scattering. Most municipal cemeteries in British Columbia charge between \$250 and \$400 for this service. This fee includes the “opening and closing” operation by staff in the designated area.

Cemeteries also often install a **memorial wall** in the scattering garden, primarily for memorializing the people interred there. Families are typically charged an additional fee for this option, which can be either having the individual’s information added to an existing stone or metal feature, or by installing a small, personal plaque. In the case of the individual plaque, the family would own the plaque in the same way that they would own an upright marker. Typically, the cemetery operator specifies the size, design, material and general level of content of the plaques.

Memorial walls are often not restricted to those interred in a scattering garden. With increasingly mobile families and people choosing not to inter the cremated remains of their loved ones in a cemetery, there is demand and a potential market for the sale of plaques or other memorialization that enables people to remember family members interred or scattered elsewhere. What is offered by the cemetery should reflect the needs of the local community.



Figure18: Kelowna Memorial Park Columbaria, Source: LEES+Associates.



Figure19: Scattering Garden, Sunnyside Cemetery, Surrey, BC, Source: LEES+Associates.

4. Operations and Maintenance

4.1 Cemetery Operations and Maintenance

Maintenance of Cliffside Cemetery is provided by a private contractor whose efforts focus on lawn care, removing tree litter in the old section, and garbage removal. City Public Works staff and other contractors assist with larger tasks when needed. Public Works Staff dig graves, conduct interments, and clear snow through the winter. *Contractor and Staff comments regarding site operations and maintenance are provided in Chapter 5: Summary of Stakeholder Engagement.*

Marmots were identified as an on-going issue at Cliffside Cemetery. The following is a brief discussion of management strategies.

4.2 Marmots at Cliffside Cemetery

Marmots are rodents that are classified as the largest type of ground squirrel. Four types of marmots live in western North America: The Hoary, Vancouver Island, Olympic, and Yellow-bellied marmot. Only the Vancouver Island Marmot is currently listed as endangered; populations of the other three species of North American marmots are listed as stable.

The Yellow-bellied marmot, sometimes known as the Rock Chuck, is the species resident at Cliffside Cemetery. Indigenous to the Okanagan area, it colonizes low elevation rocky areas and mountain meadows. At up to 11 lbs. in weight, this species is not harmful, though if threatened by a person or dog, it may attempt to attack. Marmots are generally herbivores, eating grass, grains, leaves, flowers, legumes, bird eggs, and insects. Occasionally, they will eat fruits and bark of fruit trees.

Yellow-bellied marmots spend about 80% of their lives in their burrows, 60% of which is spent hibernation. They often spend mid-day and night in their burrows, which are usually constructed

on a slope, such as a hill, mountain, or cliff. Burrows used for hibernation can be up to 5–7 metre (16–23 ft) deep; however, burrows constructed for daily use are usually only 1 metre deep. Their hibernation period varies with elevation, but this is typically from September to May; generally about 8 months of the year.

Marmots are a prey species for hawks, owls, cougars, bears, foxes and coyotes. Some dog species will catch and kill marmots. Marmots live in colonies from just a few individuals to as many as 20, if conditions are favourable. Occasionally, marmots will climb trees but generally they prefer to stay on the ground.

Like most wild animals, marmots can carry diseases that are capable of being transmitted to people and other species of mammals. Marmots can carry the ticks that cause Lyme disease, or Rocky Mountain Spotted Fever. It is possible for marmots to also transmit hantavirus or rabies. Transmission of these diseases typically occurs through direct contact with an infected animal, so avoiding close contact with marmots is the best strategy.

The Issue

Marmots have been identified as a nuisance Cliffside Cemetery based on their burrowing habit. Marmot burrows terminate in surface openings (large holes) that can be a hazard to visitors and maintenance workers. Since marmots often create burrow openings under a rocky ledge, the stone or concrete foundations of upright headstones are attractive to them, which means marmot burrows can also undermine structures and cause them to become unstable or fall.

Marmot Control

Most public agencies now seek to manage pest problems using Integrated Pest Management, or IPM. This involves the following six components:

1. Identifying an acceptable level: Total eradication is rarely feasible and often costly or hazardous. The question should be asked, what is the nature of the problem and what is a tolerable level for this problem before action is required?
2. Determining alternative practices: What can be done to minimize the problem?
3. Monitoring: Effective management depends on watching the situation consistently and responding accordingly.
4. Mechanical controls: Simple means of control, such as physical removal, are often effective.
5. Biological controls: Using other organisms to help control a specific pest can also be effective.
6. Responsible use of chemicals: Chemical controls should be a last resort and be done by a professional.

The control of wildlife on public property is challenging due to diverse and changing social values. Communities are rarely united regarding whether an animal species should be controlled, at what point it should be controlled, and if so, what is the best means of control.

The situation at Cliffside Cemetery is complicated by the fact that a cemetery is a uniquely sensitive landscape, seen by many as a place of peace and remembrance. The current Cemetery Bylaw prohibits the use of firearms at the site, although the periodic shooting marmots has proven effective in the past and is permissible on the basis of the Commission providing pest control.

There are a range of marmot control strategies available. These are listed below. Preferred methods will require additional research to confirm suitability for this situation.

Biological Control	Physical/ Mechanical Control	Chemical Control	Cultural Control
Dogs	Live trapping and relocation	Smoke	Stabilize old upright monuments with concrete
Hawks	Spring trapping (killing) and disposal	Ammonia	Mandate flat markers only
Eagles	Screens or blocks at den openings	Commercial repellents	Post warning signs re risk of burrow openings
Coyotes	Flooding	Poisons	Mark burrow openings for avoidance
	Ultrasonic repellent devices		
	Shooting and disposal		

Conclusion

Since local marmot populations at Cliffside Cemetery tend to vary, marmot control efforts should be tailored to the current situation. It is likely that more than one strategy will be required. The most effective approach could be a combination of controls that will form the best management strategy. What the best approach to this issue should be will need to be determined over time.

5. Summary of Stakeholder Engagement

5.1 Open House and Open House Questionnaire Summary

The Open House for the Cliffside Cemetery was held on August 14th 2018 in the Council Chambers at the Enderby City Hall. The Open House included a presentation, discussion period and display of presentation boards. Eleven attendees signed in, and a few people en route to another meeting stopped in to take a questionnaire. The questionnaire was available for a week after the Open House in both paper form and online. There were seven paper submissions and five online submissions.

The discussion focused on the need for a columbaria or scattering garden as well as the need to enhance the aesthetic appearance of the cremation garden.

5.2 Questionnaire Key Points Summary

The following is a summary of the key points expressed in the Open House Questionnaire. It is important to note that due to the small sample size, ranking the ideas discussed is difficult and may not reflect the opinions of the broader community.

What is most liked about the Cliffside Cemetery

- The ambiance, quiet, private setting;
- The park-like atmosphere;
- Views to the cliffs and surrounding farmlands;
- Mature trees, and
- Benches.

What is most least liked about the Cliffside Cemetery

- Needs an upgraded gate;
- Wildlife impacts: marmots and the mess they create; anthills;
- A lack of a unified character across the overall site;
- A lack character and trees/shade in the new section;

- Level of maintenance could be improved;
- A lack of wayfinding: could use better directory to find graves, and
- A lack of alternative interment options, such as columbaria.

Based on the presentation boards the following are improvements that got the most interest:

- Upgraded gates;
- Columbaria ;
- Seating area;
- Old section signage;
- Interpretive signage;
- Green burial option, and
- Gathering spaces.

Value of the Cemetery to the community

- The cemetery is seen to have high value for the community; it should be preserved and maintained.

Cremation

- The majority of the respondents intend to inter cremated remains at the Cliffside Cemetery;
- Several respondents added comments about their desire to see columbaria at the cemetery, and
- A small number of the respondents expressed an interest in an ossuary and scattering gardens.

Memorial Wall

- Some respondents expressed an interest in being able to place names on a memorial wall, and
- Additional comments show that some education on the purpose of the memorial wall would be needed.

Green Burial

- One of twelve respondents expressed an interest in green burial.

Frequency of Cemetery Visits by Residents

- Yes, to see look for old relatives or historical residents;
- Yes, to visit family;
- No, no reason to, and
- Visits to the City of Vernon's Pleasant Valley Cemetery (which is well treed with mature maples) to see fall colours.

Additional Questions Concluded Respondents Would:

- Support higher fees;
- All but one would support restrictions on plastic flowers, and
- Go on-line to get information about the cemetery; however, the majority stated that they would not use a mobile phone app.

5.3 Funeral Director Interview Summary

Interviews conducted with the three funeral directors that serve the Enderby and Area F region yielded the following key points.

Aesthetic Qualities

- The overall rustic and quaint sense of place is appreciated, however additions are needed to add a welcoming quality to the space;
- The overall aesthetic value of the cemetery is reduced by the artificial flowers and old ornamentation.
- The cremation garden needs work;
- Trees should be added as long as they do not interfere with surrounding views, and
- Other aspects that would increase the aesthetic appeal in the cemetery included: increased weeding, mowing to the edges of the cemetery and the use of concrete vaults (rather than fiberglass grave covers) so that graves do not sink.

Accessibility

- There are no issues with accessibility other than the old section, which is steep and can be hard for elderly to walk around, and
- Roads need to be resurfaced.

Operations and Maintenance

- At least one individual interviewed stated that local Funeral Directors have to do their own set-up and that Enderby is the last city in this area without their own equipment to do this;
- Monuments are installed by funeral director or monument company but many are not installed flush and in alignment;
- Monument sizes have been an issue: should be more standardized sizing, and
- The cemetery needs to improve enforcement of its bylaws, notably regarding monuments and control of ornamentation

Administration and Public Works

Split opinions

- No problems, great staff, but
- One individual interviewed cited inflexibility of the City regarding the requirement for 48 hours' notice to make an interment.

Bylaws

- Bylaws need to be "consistent with industry standards" (re memorialization policies);
- One Funeral Director suggested that the City should consult with local providers before any Bylaw update, and
- Site would be improved if these were enforced.

Products and Services Offered

- Columbaria and memorial walls are needed, and
- Need a spectrum of prices.

Customer opinions

- Have not received any complaints from customers about the Cliffside Cemetery.

5.4 Cemetery Staff and Contractor Interview Summary

Interviews done with City and contracted maintenance staff provided the following comments.

Aesthetic Qualities

- Headstones need to be flush for aesthetics as well as for mowing more efficiently;
- Bylaws need to be enforced;
- More weed control is needed;
- Landscape fabric is not necessary, and
- Lava rock in cremation area should be replaced as it crumbles away; crushed rock in the newer cremation area is also not attractive.

Operations and Maintenance

- Fence is needed between cemetery and pasture. Neighbour complains that cemetery debris sometimes ends up on his land;
- Brush along the south perimeter roads needs to be cleaned up;
- Trees at entry are overgrown and should be removed or cut back, and
- Annual cleanup by tree company could be done to remove dead trees and branches.

Bylaws

- The city or contractor needs to manage what visitors leave at the graves, which is not always consistent with the Cemetery Bylaw.

Products and Services Offered

- A tool shed accessible by the contractor would be useful, and
- The contract time should be extended to run from April 1st (or sooner) through October 1st.

Customer Opinions

- A clear, accurate grave directory is needed. (Armstrong Cemetery offered as a precedent.);
- Road names should be installed on-site, and
- Marmots should be removed yearly.

6. Existing Conditions and Preliminary Design

6.1 Site review; Opportunities and Constraints

The consultant team visited Cliffside Cemetery on four occasions. These visits included walking the site with City staff and the Maintenance contractor. The intent was to review areas of concern, and areas with potential to be developed as interment or amenity space. The following observations were summarized on the graphics presented to stakeholders at the August 14th 2018 Open House, and included here on pages 30 - 32. They illustrate the findings of site visits and analysis, offer precedent images and suggest ideas for the five key areas of the site.

- **The entry area** is overgrown, with poor signage and no screening along the north edge. This area does not convey a positive, welcoming quality to cemetery visitors.
- **The central area** at the top of the entry drive already contains a handcrafted map and some site furnishings but has potential for a “refresh” to make it a more attractive amenity area and hub for information about the site as a whole.
- **The old section of the cemetery** is wooded and scenic, with many historic, upright headstones but is also steeply sloped. The mature Douglas Fir trees in this area drop branches and litter on graves, which is an issue for some families. Maintaining this wooded area consumes most of the Maintenance Contractors’ time, and requires at least one major clean up each spring.
- **The new section of the cemetery** is open and level, with flat markers only. It offers scenic views to the Enderby Cliffs and over the farmland to the south but it also feels featureless. The existing works shed and the site of a former gazebo are the only vertical elements but neither is attractive. Two cremation areas are located here but they also lack amenity and appeal. The west edge of this area fronts onto a farm over a low embankment with scrub vegetation.
- **The undeveloped section** to the southeast consists of a meadow framed by trees in the far SE corner. This is a quiet corner with a good aspect and significant potential as an interment area.

6.2 Open House Board 1: Existing Conditions

What is this project about?

The current cemetery contains significant rustic heritage values. The City of Enderby wants to ensure that the cemetery improvements are aligned with public expectations, build on existing defining characteristics, and allow the cemetery to accommodate not only future interment demand, but also additional memorialization and disposition options.

Please use Post-It Notes to tell us what you know about special places in the cemetery.

1. Entry and Edges

- Cemetery sign small utilitarian
- Entrance gates weathered
- Borders neighboring farms with little buffer



2. Central Amenity Area

- Wooded, parklike area
- Picnic table, benches and signage



3. Old Section

- Forested area
- Enclosed quality
- Historic atmosphere



4. Developed Section

- Open / Flat
- Views to the South
- Former gazebo site
- Existing cremation sections



5. Undeveloped Section

- Open meadow, views to South West
- Wooded East corner



6.3 Open House Board 2: Opportunities

Some of Our Ideas!

This board describes our initial ideas of design additions and improvements that could enhance the cemetery experience.

Please use Post-It Notes to tell us what you like, don't like and where you think improvements should be focused.

2. Central Amenity Area

- Enhance central park-like area with upgraded site furnishings and shrub plantings
- Install interpretive signage, a new cemetery map and grave register
- Install water pump, as decorative and functional feature, spring to fall
- Plant drought-tolerant native shrubs and groundcovers at base of evergreens to define pathways/spaces
- Add small, communal or family columbaria
- Create low memorial wall
- Consider future, stepped pedestrian path to upper Old Section along unopened right of way

4. Developed Section

- Screen near views to neighbouring properties, and focus/frame distant views to hills beyond
- Relocate operations shed to more discrete site in Undeveloped Section
- Upgrade the existing, perimeter cremation area with new groundcover, pathways, and plantings
- Install single-sided columbaria wall along west edge
- Install memorial wall panels to screen unsightly views
- Upgrade the existing upper cremation area with new groundcover, pathways, and plantings
- Install feature columbarium in this location
- Consider new cremation lot layout in remainder of this area
- Establish a feature seating/garden area on former gazebo site
- Install section markers to assist with wayfinding
- Plant ornamental "street trees" where possible along existing East to West and North to South drives
- Install drip irrigation to cremation sections and new trees
- Implement new grave adornment policy (Artificial flowers Oct-April only)

1. Entry and Edges

- Restore the "Endeby back" gateway pillars
- Install new gate, cemetery signage, perimeter buffer planting on the North side of driveway
- Leave Cemetery gates open, with sign only. Opening Hours

3. Old Section

- Save maintenance costs by reducing the routine clearing of free litter
- Install new post and wire fence along east edge
- Install interpretive signage about the rustic, historic section of the site, and those buried there

5. Undeveloped Section

- Establish new vehicle access drive to open up new section
- Create focal feature at visual terminus to unify new area to rest of site
- Consider allowing upright headstones in new section
- Consider establishing new cremation borders along road edges
- Maintain lawn area as meadow, mown semi-annually only, fill needed for graves. Consider location for new operations shed
- Consider establishment of green burial section near wooded edge

6.4 Open House Board 3: Precedent Images



CEMETERY ENTRY GATE AND SIGN



GATHERING SPACE



GARDEN



CO LUMBARIA



MEMORIALIZATION



SECTION MARKER



GREEN BURIAL



EDGE / BUFFER



SCATTERING GARDEN

7. Cemetery Bylaw Recommendations

Enderby and District Cemetery Bylaw No. 1515

As noted through the engagement process, some issues at the cemetery are directly related to the Cemetery Bylaw, both as a guiding document whose stated objective is “regulate the operation and maintenance of Cliffside Cemetery,” and how the Bylaw is enforced.

A full Bylaw Review is outside of the scope of this project; however, the following section provides a high level review of the current Cemetery Bylaw. It can serve as the framework for a future full Bylaw update. An updated Cemetery Bylaw would be:

1. Completely up-to-date and consistent with the terminology used in the bereavement sector;
2. Comprehensive in scope;
3. Clear, concise and understandable to elected officials, staff and cemetery customers;
4. Easy to update by moving the sections most subject to change to the back of the document, where they can be inserted as Schedules;
5. Suitable as the framework for a future Standard Operating Procedures Manual;
6. Useful to residents to help them understand how the site is intended to work, and
7. Useful to the City to achieve its objectives regarding how the cemetery looks, operates, and performs over time.

The following is a list of recommendations by section:

At the front of the document, insert:

- A table of Amendments, arranged by date and number, indicating the nature of each change;
- A list of Schedules (for example, maps, specifications, fees);
 - Enables sections such as monument specifications to be pulled out for reference.
- Table of Contents, and
- A section, "Interpretation" to state the nature of the Bylaw, its terminology, and the organization of the document.

Definitions:

- As noted, ensure that bylaws and definitions reflect and comply with current language and terminology used in the bereavement sector industry terminology (for example, add terminology used in the Act, such as CIFSFA for the Cemetery, Interment and Funeral Services Act);
- Confirm residency criteria and that these are working appropriately for the cemetery, and
- Add definitions for any new interment offerings (for example, columbaria, scattering and green burial, which can be included even if they are not yet offered).

Cemetery Designation and Powers and Duties of the Cemetery Administrator

- Note that the Cemetery Administrator has the power of discretion.

General Provisions and Regulations

- Insert a section before the Interment Right Agreement listing all terms for use of the site, incorporating the information from your current section, "Conduct in the Cemetery;"
 - Addresses the most commonly questioned issues at the cemetery, and
- Consider a section regarding minors not be allowed at the site without adult supervision.

Interment Right Agreement

- Revise language of section 5.6 to clarify the concept of right to use a space versus ownership (the current version is not clear to the layperson).

Interment

- Rewrite section 8.7a to name each type of lot and list the number/type of interments permitted;
- Add clause re: the City's ability to reclaim an unused lot and terms for this process, per Schedule A;
- Add sections on all interment options that the cemetery offers or intends to offer (columbaria, scattering and green burial), and
- If concrete, fiberglass or fiberglass reinforced concrete grave liners will be made non-mandatory, section 8.7 e and 8.7f will need to be rewritten.

General

- Insert section, "Cemetery Administration" before "Fees and Charges" and "Care Fund;"
 - Clarifies the roles and responsibilities of elected officials, staff and others, and
- Statement regarding opening hours – 15.1 and 15.3 should be checked; does not seem consistent.

Memorials

- Section should be made into a MEMORIAL SPECIFICATIONS Schedule that can be easily revised and can be easily provided as a separate item to families and monument suppliers;
- This section should include information such as lot sizes;
- This section should provide clear specifications for installation;
- This section could specify more clearly the type of floral tributes, vases or anything else that can be placed on the grave or niche;
- Opportunity to revisit the maximum footprint of markers, particularly on cremation lots.
 - *Current bylaw allows a marker for 1 - 2 memorializations with up to 4" of concrete around each edge of the marker for a maximum size 12" x 15". This translates into up to 30% of each lot (and section) being covered by "hardscape." Reducing this coverage would leave a larger area available for "softscape" (landscaping).*
- Consider adding a new INTERMENT SPECIFICATIONS Schedule. This would clearly establish the standards for all types of interment, for families, Enderby Staff and the cemetery contractor.

Enforcement

Staff are addressing the ornamentation issue at Cliffside, which has been an on-going problem. Posting Cemetery Bylaws and acting quickly and consistently to enforce them will likely be a challenge at first, but will ultimately reduce maintenance and help create a more attractive cemetery landscape.



Figure20: The old section of the Cliffside Cemetery offers an unique experience where the historic monuments and the established vegetation commingle. A quality that should be embraced rather than controlled. Source: LEES+Associates.

8. Concept Development and Implementation

Two preliminary concepts were developed: “Traditional” (Concept A) and “Rustic / Naturalized” (Concept B). Both concepts responded to stakeholder input, addressed the same key areas, and proposed the creation of casket lots over most of the currently undeveloped area. These concepts also proposed some of the same strategies; however, they diverged in the proposed alignment of new roadways, the nature of new structural elements, and the style of decorative features.

8.1 Concept A: Traditional

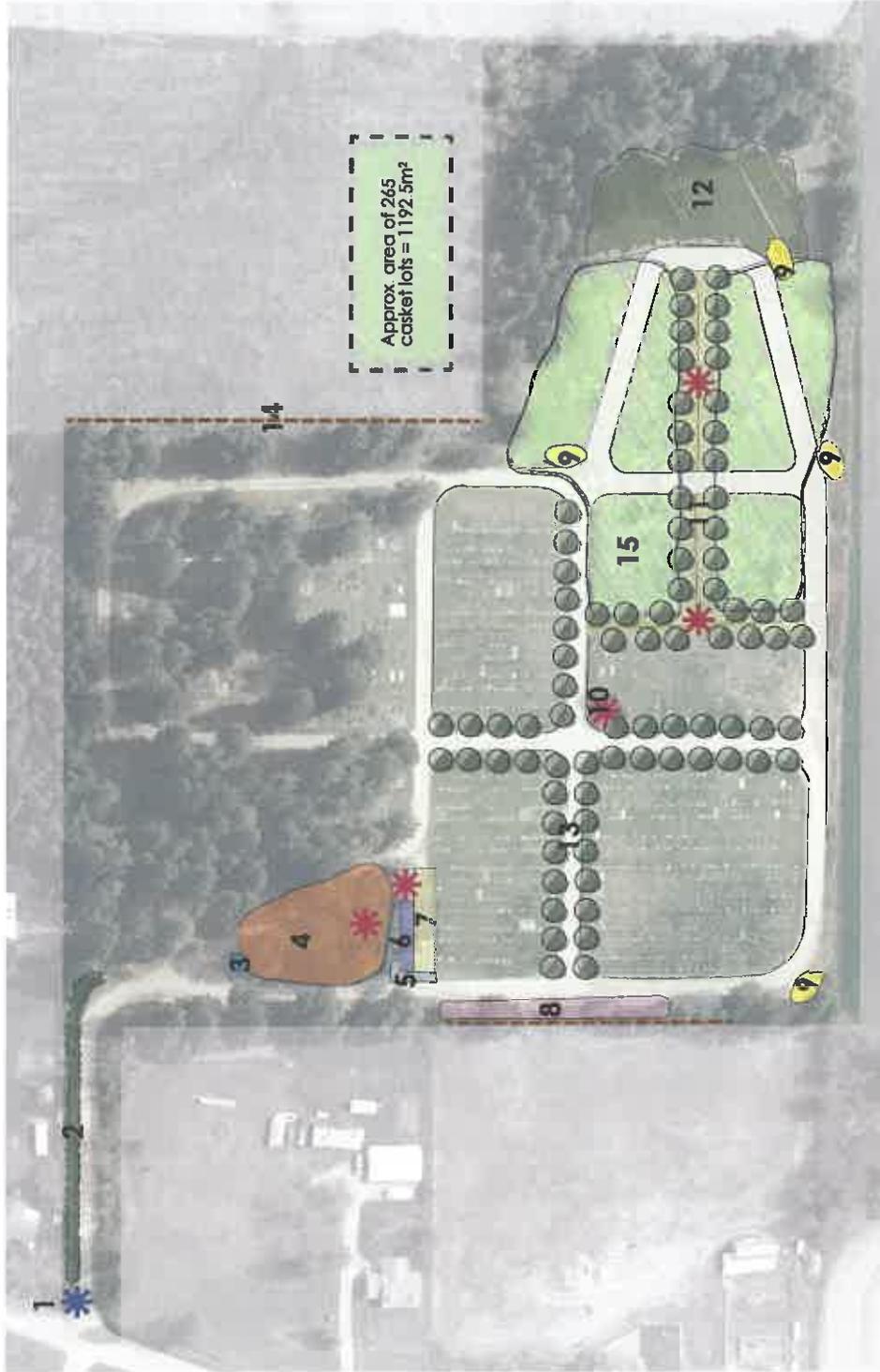
This concept was based on a more traditional cemetery aesthetic, inspired by the existing ornamental metal (wrought iron) entry gates and the orthogonal alignment of existing roads.

The key features unique to this concept include:

- Replacement of the existing cemetery gate with a similar black metal gate, possibly in a decorative style evocative of the site’s heritage and the period when Cliffside Cemetery was established;
- Planting of a continuous, formal, columnar hedge along the entry drive;
- Use of black metal fencing and perennials along the top of the proposed, stone-clad memorial wall;
- Use of black basalt panels for memorial engravings on the proposed memorial wall;
- New roadways aligned along a modified grid to fit with existing N-S and E-W circulation routes;
- Axial pedestrian pathways through the new sections, possibly lined with cremation borders (double rows of graves along each side of the path);
- Tree-lined roads and pedestrian pathways;
- Reuse of the former gazebo site for a new octagonal columbaria unit, with a low shrub border;
- Future columbaria nodes along the central pedestrian path for additional octagonal columbaria, and
- A small green burial area at the southeast corner.

Concept A
"Traditional"

- 1** New black wrought iron gate + restored brick pillars: new sign and landscape improvements
- 2** Continuous evergreen hedge for screening
- 3** Feature water pump for visitor use. New cemetery map and register.
- 4** Interpretive signage + steel and wood benches in "park zone."
- 5** New 1.5 m retaining wall with stone cladding + black basalt panels for plaques. Black wrought iron fence and low ornamental plantings along top.
- 6** Scattering garden along back of existing section
- 7** Cremation Garden with in-ground lots and feature columbarium. Lots to be improved with round river rock and scattered "alpine" plantings
- 8** Wooden screen fence along edge, mounted on segmental concrete wall. Improvements to cremation burial area as noted above.



- 9** Optional locations for new workshoped - final site TBD
- 10** Octagonal columbaria structure with shrub border
- 11** Central pathway with cremation borders along edges + future columbaria nodes
- 12** Green burial area
- 13** Cemetery drives with "street tree" planting
- 14** Potential new (open) perimeter fencing
- 15** Develop in-ground casket burial area

LEGEND

- Columbaria
- Entrance



8.2 Concept B: Rustic/Naturalized

This concept was based on capitalizing on the “rustic” character of Cliffside Cemetery as a small, rural cemetery. The inspiration for this concept was the nature of the local community, whose economy is driven by outdoor-based activities: agriculture, tourism and recreation. With the Enderby Cliffs visible from the site, the idea of an unpretentious, “contextual” design theme emerged, focusing on the relationship between people, the land and the natural environment.

The key features unique to this concept include:

- Replacement of the existing wrought iron cemetery gate with a custom-designed weathering steel swing gate, featuring a stylized representation of the Enderby Cliffs and the Shuswap River, with the cemetery name incorporated into the steel panel;
- Establishment of a visual buffer along the entry drive using wooden screen fence panels alternating with columnar evergreens;
- Use of a double row of dense evergreen shrubs along the top of the proposed new memorial wall;
- Use of cut, weathering steel panels bolted onto the proposed ledgestone-clad memorial wall;
- New roadways designed with a large turnaround loop to minimize the amount of new road needed to service the new section;
- Informal, meandering pedestrian pathways through the new sections, tying into a woodland trail running through a proposed new green burial area;
- Tree-lined roads except the east loop, which is framed by existing evergreens;
- Reuse of the former gazebo site for future columbaria, potentially with a shade structure and informal, deer-resistant perennials in a surrounding planting bed;
- A significant natural stone feature placed like a glacial erratic, to serve as a focal feature for a scattering garden with native shrubs and stone slab benches;
- A naturalistic cremation garden with small columbaria units arranged on flagstone paving and surrounded by mixed evergreens and small deciduous trees, and
- A large green burial area at the southeast corner

Following review by City of Enderby Staff, Concept B was selected for refinement and became the Preferred Land Use Plan. The graphic on the facing page represents this refined version.

Concept B: Preferred Land Use Plan "Rustic/Naturalized"



- 1 Cemetery Entry:** new, weathering steel gate + restored brick pillars. Shrub clearing for visibility
- 2 Entry Drive:** wood screen fence panels + evergreen hedge
- 3 Arrival Area:** feature water pump for visitor use. New cemetery map and register
- 4 Park Area:** family columbaria within "park zone" and with cut stone benches
- 5 Memorial Wall:** new 1.5 m retaining wall with stone cladding and inset panel for sandblasted names; hedge planting on top
- 6 Upper Cremation Garden:** with in-ground cremation lots + linear columbaria walls
- 7 West Edge & Lower Cremation Garden:** wooden screen fence on segmental concrete retaining wall. Improvements to cremation burial area including stone shared surfacing + scattered groundcover plantings
- 8 Single Sided Columbaria** and memorial wall with stone pavers and low, native groundcovers
- 9 Work Shed:** accessible from existing road, to be screened by vegetation
- 10 Street Trees and Irrigation:** cemetery drives "street tree" plantings
- 11 South Edge:** vegetation on southern edge to be thinned and maintained
- 12 Northeast edge:** potential new (open) perimeter fencing
- 13 Columbaria:** native shrub planting and columbaria space on former gazebo site
- 14 Central Amenity Space:** monumental rock feature, constructed from local stone slabs + boulders. Native evergreens, slab stone seating around scattering garden
- 15 New Development area Amenity Space:** scattered columbaria units in wooded setting in "tear drop" road loop. Footpath with perimeter in-ground cremation lots
- 16 New Development area Casket Burial**
- 17 Green Burial Section**
- 18 Nature Walk:** pathway established through existing woodland area. Scattering opportunity within
- 19 Old Section**

NOTE: Capacity figures provided are estimates of the maximum number of lots that could be created according to the current grave sizes, information provided by the City of Enderby.

Approx. area of 265 casket lots = 1192.5m²
Estimated interment lots: 920, at 5' x 10'

Actual capacity could be less due to subsurface conditions (such as tree roots, soil conditions, and undocumented infrastructure and interments), or other issues not currently known and accounted for. Further research and site work is required to prove and refine these estimates

- LEGEND**
- Columbaria
 - Entrance
 - Water Line

8.3 Concept Area Descriptions

The following section describes, illustrates and provides precedents for the Concept Areas identified on the Preferred Land Use Plan.

Cemetery Entry and Entry Drive

See 1 and 2 on Concept B, the Preferred Land Use plan

Improving the entry into Cliffside Cemetery involves enhancing the site’s visibility, visitors’ “first impressions,” and establishing an authentic, appealing character to help unify the site and establish a positive visitor experience. This would include:

- Installing a new cemetery gate to convey the unique character of the site and establish its natural, rustic character. A laser/water-cut weathering steel panel with a motif inspired by local scenery (such a view of the Enderby Cliffs, as shown right) would introduce this durable, cost-effective material in a way that could be used on other features throughout the site.
- Restoring the existing Enderby brick columns.
- Clearing and re-landscaping the gateway site so it can be more easily managed to present a welcoming quality.
- Installing a wood panel fence with hedging would screen views north and create a more attractive entry sequence.



Figure23: View from the cemetery entry drive to adjacent property. Source: LEES+Associates



Figure22: Enderby Cliffs. Source: <http://enderbyartscouncil.ca/>



Figure21: Cut steel entry gate, Elk Falls Cemetery, Campbell River, BC.

Source: Lees+Associates

Signage and Wayfinding

Various locations on Concept B, the Preferred Land Use Plan.

The installation of section markers, for example, made of weathering steel per the image to the right would assist with way-finding as well as tying cemetery amenities together visually.

Interpretive signage describing the natural and cultural history of the Enderby area and Cliffside Cemetery would add interest and a low key amenity to this picturesque area.

The traffic pylons and concrete Jersey barriers currently installed at the site to manage vehicle and pedestrian traffic should be replaced with features with similar aesthetics to the cemetery gate, for example, natural stone boulders and steel panels for signage.

Arrival Area and Park Area

See 3 and 4 on Concept B, the Preferred Land Use plan.

This area, shown below, seems well-suited to serve primarily as an amenity space. Installing a cemetery map with site information and a rustic but functional hand-operated water pump (precedent shown right) would encourage visitors to bring real flowers to place on graves while adding to the site’s rustic charm.

Replacing current site furnishing with a suite of benches and a picnic table would invite visitor use. Boulder seating and gravel surfacing with shrubs at the base of trees would add to the effect.



Figure24: Section Marker, Source: <https://ndga.wordpress.com/2013/05/03/escritorios-de-design-grafico-ambiental-108/>

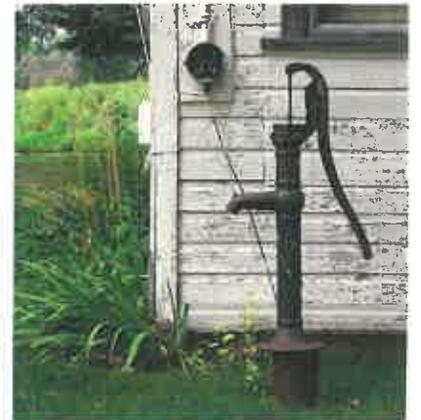


Figure25: Water Feature, Source: <https://twitter.com/carlosmoradiaz>



Figure26: Existing Condition “Park Area”.

Source: LEES+Associates

Memorial Wall and Upper Cremation Garden

See 5 and 6 on Concept B, the Preferred Land Use Plan.

The existing upper cremation garden is designed with concrete bands that serve as curbs, lot dividers and narrow walkways. Since these are functional and in good condition, they should be retained. This would allow the focus of improvements to be on the graves and the adjacent areas. Suggested upgrades include:

- Retain the existing infrastructure of the cremation garden, allowing the three south, curbed sections to remain as cremation interment space, but convert the north section into a scattering garden. This area should be constructed with a below-ground ossuary to contain most of the remains, thereby reducing the visual and horticultural impact of many sets of cremated remains in a limited area. A small amount of each set of cremated remains could be scattered by families or staff in the planted bed area. A proprietary soil amendment designed to counteract the effects of cremated remains (which have high pH and salt content) should be incorporated into this area. Native, deer-resistant ornamentals should be planted around a suitable natural stone boulder engraved with the name of the garden and a fitting phrase.
- To the west of the existing concrete retaining wall, install a second cast-in-place concrete wall designed to be clad with natural ledge stone. Removable, honed black basalt panels could be installed to enable this to serve as a memorial wall. Panels would be engraved over time with the names and dates of decedents. This memorial wall could serve to memorialize not only those who have been interred in the scattering garden at Cliffside Cemetery, but could also accommodate the names of those who were interred in other cemeteries or were scattered elsewhere.
- Between the existing wall and proposed wall, a planter should be created for a double row of hardy, deciduous hedging. Due to the width of the bed and the dense planting, a guard rail may not be necessary, though installing a temporary railing may be prudent until the hedge is fully established. The rear embankment should be planted with native mahonia, per Figure 31.
- Extending from these graves, a gravel path should be established to access three 40 - 60 niche double-sided columbaria. For optimal sun exposure, the niches face east / west.
- Additional in-ground cremation lots could be established along the path edge, along with benches and low shrubs.
- Ornamental trees with spring and fall interest could be planted to frame the columbaria. Shrubs should be planted to emphasize the framing, and create a defined, attractive quality.



Figure 28: Existing Conditions,
Source: LEES+Associates



Figure 29: Existing Conditions,
Source: LEES+Associates



Figure 27: Family Columbaria,
Source: Lees and associates

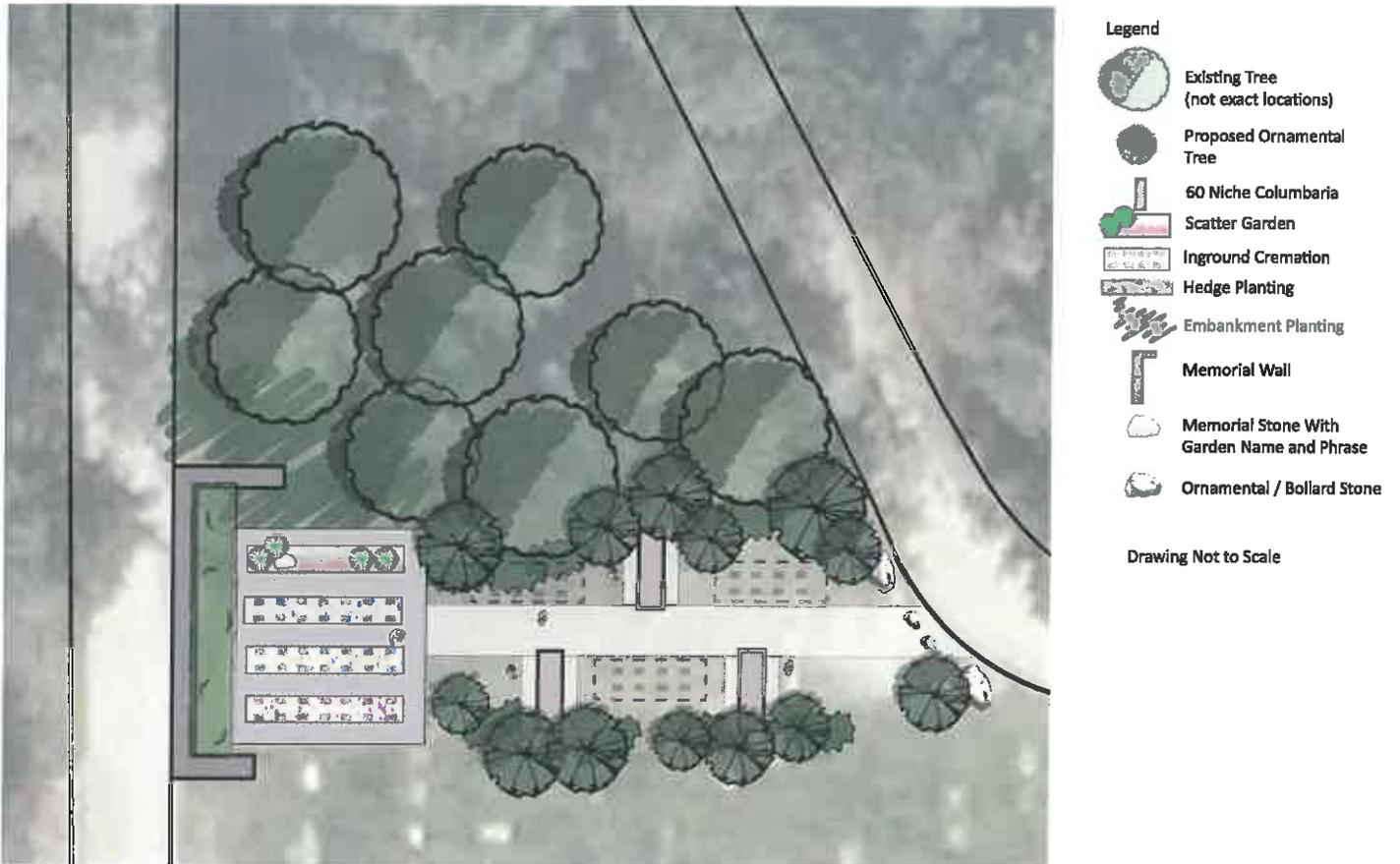


Figure30: Memorial Wall and Upper Cremation Garden Schematic Plan, Not to Scale



Figure31: Memorial Wall with Removable, Honed Black Basalt Memorial Plaques

West Edge and Lower Cremation Garden

See 7 on Concept B, the Preferred Land Use Plan.

The existing cremation garden along the west edge of the cemetery appears somewhat unkempt, accentuating the quality that this important area is situated on “left over space.” Key issues include:

- Disintegrating lava rock mulch over exposed landscape fabric;
- Ornamentation (artificial flowers and other trinkets) that are now faded and weathered;
- A lack of consistency in the size, elevation, alignment and quality of installation of markers;
- Overgrown, weedy vegetation, an eroding west slope and inconsistent fence line;
- A margin of poor quality lawn and nothing to soften the hard edges, and
- Proximity to the tool shed, which has a utilitarian appearance.

Proposed improvements focus on increasing aesthetic appeal of the cremation garden by establishing an improved sense of visual unity, amenity and care. Recommendations include:

- Document graves, remove and catalogue markers. Remove existing gravel and landscape fabric.
- Regrade and replace with rounded river cobble (~75- 300 mm diameter) over a base of round 10-25mm drain rock. The river cobble should be hand-placed around reinstalled markers.
- Markers should be set evenly and consistently. Non-compliant ornamentation should be removed.
- Incorporate planting medium between the double row and where possible between smaller markers. Plant with low, drought-tolerant alpine species in naturalistic groupings.
- Remove the existing utility shed and extend the cremation interment area.
- Define the edge between interment space and road by:
 - Installing a 150 mm wide, concrete flush curb along the edge of the gravel road;
 - Replacing the soil inside the curb;
 - Installing a low, hardy groundcover, such as kinnickinnick or carpet juniper, or
 - Replacing the existing lawn with new, more drought-tolerant grass species.



Figure33: Existing Conditions, Ornamentation
Source: LEES+ASSOCIATES



Figure34: Existing Edge Condition,
Source: LEES+Associates



Figure35: Existing Edge Condition,
Source: LEES+Associates

The west edge of the cemetery along the property line is overgrown and difficult to maintain due to the varying height and stability of the embankment, the nature of the fence-line vegetation and the poor quality wire fence.

Proposed improvements should focus on establishing a clean, attractive edge that will screen foreground views over the adjacent farm without impeding the mid and background views of the scenic landscape beyond. Recommendations for this area include:

- Remove most existing vegetation, unless it will not impede installation of a perimeter wall.
- Install a 1 - 1.2 metre height interlocking Segmental Concrete Unit (SCU) or mechanically stabilized earth (MSE) retaining wall along the property line.
- Install a wooden screen fence approximately 1.5 metres tall along the top of the retaining wall to establish a clean, continuous edge to enclose/partially screen the lower cremation section.
- Negotiate with the adjacent owner regarding the perimeter wall and fencing. This is likely to be appreciated as ornamentation from the cemetery sometimes blows onto his property, which has been a concern.



Figure36: Existing Conditions



Figure37: Proposed Improvements.

Street Trees and Irrigation

See 10 on Concept B, the Preferred Land Use Plan.

The established in-ground casket section in the “new area” of the cemetery, which was cleared in 1962, is flat and open. Although easy to maintain, this section lacks definition and character. The lack of trees accentuates the large scale of the areas between the existing roads. Planting an allée (double row) of shade trees along these drives would reduce the scale of the site and add considerable visual interest and appeal. Using species with seasonal interest (spring flowers and/or fall colour) would help enliven the site as well as creating some welcome shade in summer.

Trees should be spaced to allow for snow storage. Irrigation will need to be installed; though this should be relatively straightforward due to the underground water line that runs across the site through this area. Alternatively, tree watering bags could be used for a few years until trees are established.

South Edge

See 11 on Concept B, the Preferred Land Use Plan.

The view to the south extends over a farmer’s field and to the surrounding, rolling hills. The vegetation along the south edge appears overgrown and unruly. As the views in this direction are pleasant, no fencing is needed. Instead, a comprehensive thinning and/or clearing should be undertaken. The condition of the perimeter fence should be checked and trees and shrubs worthy of retention should be identified and protected. Alternatively, this area could be cleared and an entirely new, more manageable “hedgerow” of smaller species could be planted.

Northeast Edge

See 12 on Concept B, the Preferred Land Use Plan.

The east edge, which runs along the old section, could easily be improved with new wire fencing installed on the existing fence posts (which appear solid). There is no need to screen the neighbouring lands as the field adds to the rural appearance of the cemetery, and the famous Enderby Cliffs are visible in the background.



Figure38: Current Edge Conditions - East Edge, Source: LEES+Associates Figure39: Established Interment Zone, Source: LEES+Associates

Central Amenity Space

See 14 on Concept B, the Preferred Land Use Plan.

This central node is intended to serve as an amenity space for visitors, with possible scattering. Located in the center of the currently undeveloped interment area, this will provide a focal point for the new section, and will connect to the roads along an informal, mowed path.

Features include

- A significant feature boulder to represent the iconic Enderby Cliffs
 - Feature is intended to attract people to this space ;
 - Boulder could be engraved with name of space, quotes or used for memorial engravings;
- Random, fitted flagstone (represented conceptually below) will define a space for reflection or gatherings. Surrounding shrubs define the perimeter and enclose the space;
- Intended for formal or informal events/gatherings, or celebrations.
- An underground ossuary could be incorporated.
- Surrounding plantings should include ornamental trees with spring bloom and/or fall colour. Shrubs and perennials to be salt-tolerant due to presence of cremated remains;



Figure40: Large Rock Feature

- Legend**
- Ornamental Shrubs and Scattering Location
 - Enderby Cliff Feature
 - Flagstone
 - Mowed Path
- Drawing Not to Scale

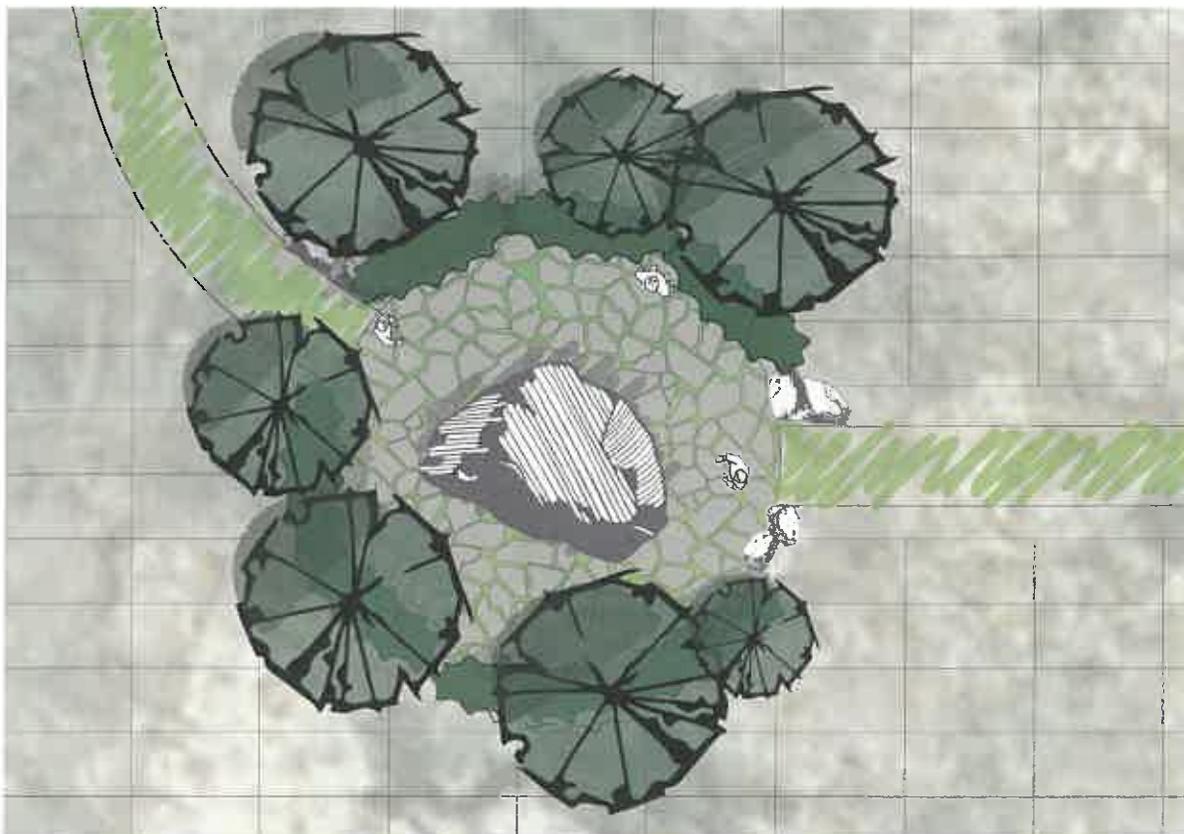


Figure41: Central Amenity Space Schematic Plan, Not to Scale

New Development Area Amenity Space

See 15 on Concept B, the Preferred Land Use Plan.

This central node will bridge the newly-developed, in-ground burial section with a new green burial area. Columbaria are proposed throughout the teardrop-shaped central area, each with a backdrop of two to three trees to create an effect similar to that of the image below. This space will include large boulders evocative of the Enderby Cliffs, visible to the east. These boulders could also serve as informal seating. A central path would wind through this area, either as a mown path or as a gravel trail.

- Legend
-  Feature Trees and Ornamental Shrubs
 -  Street Trees
 -  Mowed Pathway
 -  40 Niche Columbaria
 -  Sign
 -  Green Burial Area

NOTE: Drawing Not to Scale



Figure42: 40 Niche Columbaria in Wooded Setting. Source: LEES+Associates

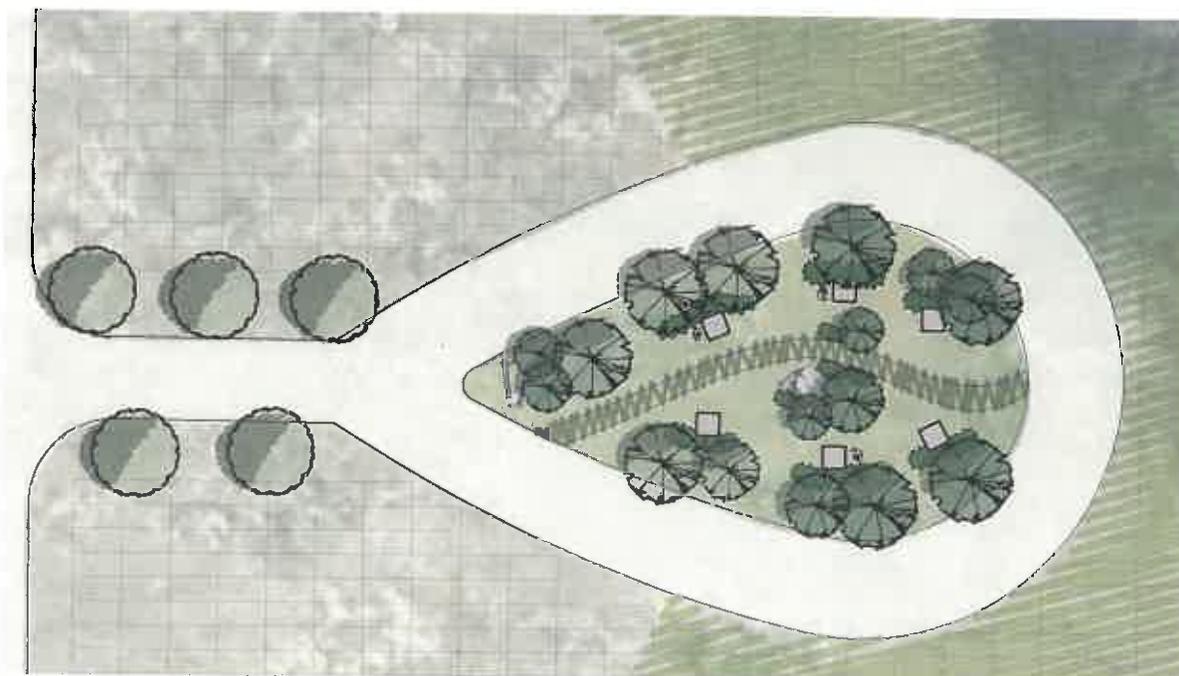


Figure43: New Development Area Amenity Space Schematic Plan, Not to Scale

Green Burial Section

See 17 on Concept B, the Preferred Land Use Plan.

East of the current in-ground interment space is the undeveloped section of the Cliffside Cemetery, which is framed by mature native trees and shrubs. Due to its location away from the more developed sections and the presence of large trees, this area would be ideal for creating a green or “natural burial” area. Interments would take place in regularly sized graves, with no embalming, no vaults or grave covers, and only biodegradable caskets or shrouds. Graves would be restored to native grasses, groundcovers and possibly new trees, and the names of those buried would be sandblasted onto a communal stone rather than on a marker located directly on the lot.

Green burial options include:

- Expanding the existing grove of trees in the southeast corner by planting new trees on graves;
- Retaining the existing open, meadow character by restoring with native grasses and wildflowers, and
- Plant trees every few graves, or define an area where new trees could be planted in memory of the deceased.

Nature Walk

See 18 on Concept B, the Preferred Land Use Plan.

The southwest corner of the cemetery features a grove of mature trees. These trees should be preserved to define the site, link this edge with the old section and add to the overall aesthetics of the site. A meandering path through these trees could add interest and amenity to this area. If desired, scattering could also be permitted along the edges, with an underground ossuary installed at an appropriate location.



Figure44: Undeveloped Area



Source: LEES+Associates Figure45: Mature Tree Grove, Source: LEES+Associates

9. Preliminary Cost Estimate

The cost estimate provided is a budget level estimate. Final figures will depend on final design engineering; however this budget is sufficiently detailed for capital budget planning.

Items that have been presented only conceptually, such as section markers, will require further design before they can be costed with a reasonable degree of accuracy. Other items, such as below-ground ossuaries, could be installed incrementally by City staff and therefore do not represent a significant expense.

The budget provided has been split into sections and numbered accordingly to coordinate with the described design areas of the Preferred Land Use Plan. Detailed design descriptions and images of each area are provided in Chapter 8: Concept Development and Implementation.

The total cost of the included design areas is estimated at \$1,010,257.03. A detailed cost estimate breakdown is provided in Appendix 1. This estimate includes allowances for detailed design, which will be required for most items prior to going to construction, and a contingency.

Implementation of the full Land Use Plan, including the recommended design components and maintenance practices, are recommended to take place in three phases over the next 25 years. These phases have been developed in collaboration with the City of Enderby and are outlined in the following Chapter, "Phasing."

10. Phasing

This chapter describes the rationale for the proposed phasing of the implementation of the Cliffside Cemetery Land Use Plan. The proposed phasing is based on the current needs of the community as established through stakeholder consultation, and the consulting team's expertise. Following the rationale is a project timeline, by phase, with the costs associated with each of the 20 projects presented.

Phase One, year 1 - 5.

Numbers correlate with the concept plan graphic and the costing estimate

The following items are recommended as priority projects:

- 6. Upper Cremation Garden. Based on the demand for more options for cremated remains interment, a cremation garden with scattering and columbaria options is a high priority item, and
- 7. West Edge and Lower Cremation Garden. The appearance of this edge was frequently mentioned in the stakeholder consultation. Improvements to the edge treatment and the existing cremation garden will greatly improve aesthetic appeal of the cemetery;
- 9. Work Shed. The work shed should be reconstructed at a less prominent area of the cemetery.

The concept plan shows multiple areas for columbaria installation. The first columbaria to be added to the site is #6. The remaining columbaria areas including #8, #13 and #15 should be added on an as-needed basis, with #8 being the lowest priority.

Phase Two, years 5 - 10.

Numbers correlate with the concept plan graphic and the preliminary cost estimate

The following items should be included in this phase:

- 3. Arrival Area. Although not a high priority, establishing an arrival space will enhance the entry sequence and wayfinding;
- 5. Memorial Wall. To add design coherence, a new memorial wall designed to reflect qualities of the cemetery entry is proposed;
- 6. Upper Cremation Garden. Based on the demand for more options for cremated remains interment, a cremation garden with scattering and columbaria options is a high priority item;
- 11. South Edge. Selective pruning and removal of overgrown vegetation to increase aesthetic appeal, and
- 19. Old Section Interpretive Signage. This item should be initiated once funding is available.

Phase Three, years 11 - 25.

Numbers correlate with the concept plan graphic and the costing estimate

Items in this phase can be installed on an as-needed basis. The following items should be included in this phase:

- 1. Cemetery Entry. As the entry establishes the first impression of visitors to the site, it is important to make this area both functional and attractive;
- 2. Entry Drive. Screening to control views to the adjacent property will enhance the entry sequence;
- 4. Park Area. This amenity space will complete the entry sequence;
- 8. Single-Sided Columbaria Wall. This would be a costly feature. The addition of this element would need to justify initial investment required to develop a project of this nature;
- 10. Street Trees and Irrigation. Establishing street trees will enhance the atmosphere in the developed section by offering shade and a vertical element to the landscape;
- 12. Northeast Edge. Install new wire fence;
- 13. Columbaria on former gazebo site. This feature can be added in Phase Three, depending on demand;
- 14. Central Amenity Space. Space for this amenity needs to be planned in conjunction with in-ground burial lots;
- 15. New Development area Amenity Space. To be established in conjunction with #16;
- 16. New Developed Area Casket Burial. Establish as-needed, in conjunction with new roadway;
- 17. Green Burial. Efforts to establish this area can take place now, however demand for this interment option is currently low. Educating the public will increase the demand;
- 18. Nature Walk. Establish in conjunction with Green Burial, and
- 20. Roadways. Removal of the curbs and resurfacing of the roadways (excluding the old section) would increase the overall aesthetic value of the cemetery, and enhance the appearance of the care.

CLIFFSIDE CEMETERY LAND USE PLAN - PROJECT TIMELINE					
	Project Name / Description	Years 1 - 5	Years 5 - 10	Years 11 - 25	Notes
1	Cemetery Entry			\$22,500.00	
2	Entry Drive			\$28,500.00	
3	Arrival Area		\$7,150.00		
4	Park Area		\$24,675.00		
5	Memorial Wall		\$24,675.00		To be done with Scattering Garden and Upper Cremation Garden
6	Upper Cremation Garden	\$85,900.00	\$22,650.00		Possible Hydro Tree Grant
7	West Edge & Lower Cremation Garden	\$39,500.00			
8	Single Sided Columbaria			\$68,500.00	
9	Work Shed	\$7,000.00			
10	Street Trees and Irrigation			\$25,300.00	Possible Hydro Tree Grant
11	South Edge		\$2,500.00		
12	Northeast Edge			\$1,350.00	
13	Columbaria (on former gazebo site)			\$17,500.00	
14	Central Amenity Space			\$21,000.00	
15	New Development Area Amenity Space			\$122,700.00	
16	New Development Area Casket Burial			\$87,450.00	
17	Green Burial Section			\$21,000.00	
18	Nature Walk			\$16,200.00	
19	Old Section Interpretive Signage		\$21,000.00		Possible Heritage Project
20	Roadways			\$95,500.00	

Totals	\$132,400.00	\$77,975.00	\$570,500.00
Engineering & Design	\$16,550.00	\$9,747.00	\$71,313.00
Contingency	\$22,343.00	\$13,158.00	\$96,272.00
Total	\$171,293.00	\$100,890.00	\$738,084.00
Project Funding			
Reserves / Surplus	\$157,838.00	\$56,440.00	\$696,620.00
Operating	\$13,455.00	\$44,440.00	\$41,465.00
Total	\$171,293.00	\$100,890.00	\$738,084.00
Funds Available			
Reserves / Surplus	\$157,240.00	\$598.00	(\$57,037.00)
Project Usage	(\$157,838.00)	(\$56,440.00)	(\$696,620.00)
Closing Balance (underfunded portion)	\$598.00	(\$57,037.00)	(\$753,657.00)

Appendix 1

Budget Level Cost Estimate

CLIFFSIDE CEMETERY					
Preliminary Concepts - Final Construction Documents					
Area	Unit	Quantity	Unit Cost	Amount	
1 CEMETERY ENTRY					
Weathering Steel Gate, including signage					
Custom, lockable, Cor-ten swing gate	allow	1	\$ 18,000.00	\$	18,000.00
Brick Restoration					
Enderby brick column restoration	allow	2	\$ 1,500.00	\$	3,000.00
Shrub Clearing					
Planter demo, pruning/removals, new soil + groundcovers/low shrubs	allow	1	\$ 1,500.00	\$	1,500.00
				Cemetery Entry	\$ 22,500.00
2 ENTRY DRIVE					
Fencing					
Screen Fence - wood panel min. 2 m ht (estimated length)	lm	70	\$ 350.00	\$	24,500.00
Shrubs					
Columnar cedars, B+B, 1m o.c.	ea	40	\$ 100.00	\$	4,000.00
				Entry Drive	\$ 28,500.00
3 ARRIVAL AREA					
Water Feature					
Replica cast-iron water pump with hand lever;	allow	1	\$ 500.00	\$	500.00
Installation (connection to W.L. with shutoff/concrete foundation and pebble	allow	1	\$ 1,000.00	\$	1,000.00
Map					
New Cemetery Map (Digitized files transferred to plan + panel/install'n, incl'd	allow	1	\$ 5,000.00	\$	5,000.00
Optional: Cemetery Register - laminated sheets, bound, with box and cable	allow	1	\$ 650.00	\$	650.00
				Arrival Area	\$ 7,150.00
4 PARK AREA					
Furnishings					
Benches - wood and metal with armrests, on concrete footings	ea	2	\$ 4,500.00	\$	9,000.00
Garbage receptacles	ea	2	\$ 2,500.00	\$	5,000.00
Crusher fines surfacing throughout	allow	1	\$ 2,000.00	\$	2,000.00
Columbaria					
Family Columbaria (8 niche) on granite base	ea	3	\$ 6,500.00	\$	19,500.00
Granite Ossuary					
Stone vessel with lockable lid, engraving and granite base	allow	1	\$ 7,500.00	\$	7,500.00
				Park Area	\$ 43,000.00
5 MEMORIAL WALL					
Wall structure					
CIP concrete wall (1500mm ht) incl'd footing and drainage	m ³	7	\$ 1,500.00	\$	9,750.00
Stone cladding (natural ledgerstone, mortared in place, with coping)	sfm	21	\$ 375.00	\$	7,875.00
Soft Landscape					
Hedging material (5 gal deciduous shrubs)	m ²	21	\$ 100.00	\$	2,100.00
Wall backfill and planting medium	m ³	15	\$ 30.00	\$	450.00
Memorial panels					
Cor-ten or Flamed Black Tusk Basalt, 50mm thick, cut edges, mortared in place)	ea	18	\$ 250.00	\$	4,500.00
				Cremation Burial Enhancements	\$ 24,675.00
6 UPPER CREMATION GARDEN					
Columbaria					
Columbaria Walls (3) 60 niche units	ea	3	\$ 24,000.00	\$	72,000.00
Columbaria foundations (per engineer)	ea	6	\$ 1,750.00	\$	10,500.00
Pathway					
Limestone screening pathway (no edger)	m ²	30	\$ 30.00	\$	900.00
Scatter Garden					
Shrubs, native species, 5 gal pots; with soil amendment	m ²	1	\$ 100.00	\$	100.00
Perennial plantings, including aluminum edging, soil and mulch	m ²	7	\$ 100.00	\$	650.00
Vegetation					
Trees (native/ornamental, B+B)	ea	15	\$ 500.00	\$	7,500.00
Shrubs (native/ornamental, 5 gal)	m ²	14	\$ 100.00	\$	1,400.00
Memorial Boulder					
Memorial Stone for engraving	ea	1	\$ 1,500.00	\$	1,500.00
Feature stones/"bollards"	ea	5	\$ 500.00	\$	2,500.00
Site Furnishings					
Bench - wood and metal with armrests, on concrete footing	ea	2	\$ 4,500.00	\$	9,000.00
Garbage receptacle	ea	1	\$ 2,500.00	\$	2,500.00
				Upper Cremation Garden	\$ 108,500.00
7 WEST EDGE AND LOWER CREMATION GARDEN					
Demolition					
Shrub and tree pruning and removals (incl'd grubbing and disposal)	allow	1	\$ 2,500.00	\$	2,500.00
Segmental Concrete Unit retaining wall					
Ht. varies (min 500 mm; max approx. 1.5 m)	sfm	75	\$ 160.00	\$	12,000.00
Wooden Screen Fence					
1.5m ht cedar plank fence along back of retaining wall)	lm	60	\$ 300.00	\$	18,000.00
Cremation Lot renovations					
Demo (remove lava rock, landscape fabric, remove and catalogue markers)	allow	1	\$ 2,500.00	\$	2,500.00
River cobble mulch (25-200mm dia; 150mm depth, hand-placed around realigned	allow	1	\$ 1,500.00	\$	1,500.00
Alpine plants (for interplanting into cobble) incl'd planting medium	m ²	100	\$ 25.00	\$	2,500.00
Staff coordination re: marker placement	allow	1	\$ 500.00	\$	500.00
				West Edge and Lower Cremation Garden	\$ 39,500.00

8 SINGLE-SIDED COLUMBARIA					
Columbaria					
Columbaria Wall 80 niche units	ea	1	\$	32,000.00	\$ 32,000.00
Columbaria foundations (per engineer) 80 niche	ea	1	\$	2,500.00	\$ 2,500.00
Paving					
100mm depth compacted gravel sub base	m ²	80	\$	20.00	\$ 1,600.00
Concrete unit pavers	m ²	80	\$	175.00	\$ 14,000.00
Perimeter concrete flush curb	lm	48	\$	300.00	\$ 14,400.00
Planting					
Native ground cover	m ²	40	\$	100.00	\$ 4,000.00
Single Sided Columbaria					\$ 68,500.00
9 WORK SHED					
Work Shed					
Wood/metal frame with siding, locking steel door, on concrete foundation and	allow	1	\$	7,000.00	\$ 7,000.00
Work Shed					\$ 7,000.00
10 STREET TREES and IRRIGATION					
Deciduous ornamental trees, 8+B, min 6 cm cal), staked	each	38	\$	600.00	\$ 22,800.00
Irrigation line from existing WL, with drip lines; manual shutoff	allow	1	\$	2,500.00	\$ 2,500.00
Street Trees and Irrigation					\$ 25,300.00
11 SOUTH EDGE					
Selective pruning and removal/clean-up of overgrown vegetation	allow	1	\$	2,500.00	\$ 2,500.00
South Edge					\$ 2,500.00
12 NORTHEAST EDGE					
Wire Fence (assumes removal of existing wire; reuse of existing posts)	lm	90	\$	15.00	\$ 1,350.00
Northeast Edge					\$ 1,350.00
13 COLUMBARIA (on former gazebo site)					
Shrubs and perennials in perimeter beds	allow	1	\$	1,500.00	\$ 1,500.00
Columbaria 40 niche units (1)	ea	1	\$	16,000.00	\$ 16,000.00
Columbaria					\$ 17,500.00
14 CENTRAL AMENITY SPACE					
Large/Focal "Cliffside" Boulder	allow	1	\$	2,500.00	\$ 2,500.00
Feature boulder seating and decorative rocks	ea	5	\$	650.00	\$ 3,250.00
Trees (native species, mixed conifers and deciduous, min 5 cm cal/3m ht)	ea	5	\$	500.00	\$ 2,500.00
Shrubs (native species, evergreen and deciduous No 5 pot with soil amendment)	m ²	20	\$	100.00	\$ 2,000.00
Flagstone Pavers	m ²	86	\$	100.00	\$ 8,600.00
Compacted granular base (150 mm depth)	m ²	86	\$	25.00	\$ 2,150.00
Central Amenity Space					\$ 21,000.00
15 NEW DEVELOPMENT AREA AMENITY SPACE					
Columbaria					
Columbaria (6) 40 niche units	ea	6	\$	16,000.00	\$ 96,000.00
Columbaria foundations (per engineer) 40 niche	ea	6	\$	1,600.00	\$ 9,600.00
Sign					
Stone section marker engraved	allow	1	\$	2,500.00	\$ 2,500.00
Decorative Boulders	ea	4	\$	650.00	\$ 2,600.00
Soft Landscape					
Trees (native species, mixed conifers and deciduous, min 5 cm cal/3m ht)	ea	18	\$	500.00	\$ 9,000.00
Shrubs (native species, evergreen and deciduous No 5 pot with soil amendment)	allow	1	\$	3,000.00	\$ 3,000.00
New Development area Amenity Space					\$ 122,700.00
16 NEW DEVELOPMENT AREA CASKET BURIAL					
Street Trees					
Irrigation line from existing WL, with drip lines; manual shutoff	allow	1	\$	1,000.00	\$ 1,000.00
Road					
Asphalt drive over gravel base	m ²	1,300	\$	60.00	\$ 78,000.00
New Development Area Casket Burial					\$ 87,450.00
17 GREEN BURIAL SECTION					
Site Preparation					
Entry Sign	allow	1	\$	2,500.00	\$ 2,500.00
Communal Markers (natural stone, silced face)	allow	4	\$	3,000.00	\$ 12,000.00
Survey/layout	allow	1	\$	2,000.00	\$ 2,000.00
Grass and wildflower seeding	m ²	1,500	\$	3.00	\$ 4,500.00
Green Burial Section					\$ 21,000.00
18 NATURE WALK					
Site Preparation					
Pedestrian pathway (wood mulch or gravel surface, includes survey layout)	allow	1	\$	5,000.00	\$ 5,000.00
Wayfinding/Interpretive Signage, including design	allow	4	\$	2,500.00	\$ 10,000.00
Ossuary (below ground cistern with cap)	allow	1	\$	1,200.00	\$ 1,200.00
Nature Walk					\$ 16,200.00
19 OLD SECTION INTERPRETIVE SIGNAGE					
Signage (metal base, mounted on concrete footing)					
Supply and Install, including design	allow	6	\$	3,500.00	\$ 21,000.00
Old Section Interpretive Signage					\$ 21,000.00
20 ROADWAYS					
Curb Removal					
Assume 6 existing	ea	6	\$	500.00	\$ 3,000.00
Road Resurfacing					
Asphalt wear course (overlay - new section only)	m ²	3,700	\$	25.00	\$ 92,500.00
Roadways					\$ 95,500.00
SUBTOTAL (Une Items 1 -20)					\$ 780,875.00
ENGINEERING & DESIGN 12.5%					\$ 97,609.38
CONTINGENCY @ 15%					\$ 131,772.66
TOTAL					\$ 1,010,257.03

Note: All costs are for supply and install unless otherwise noted.

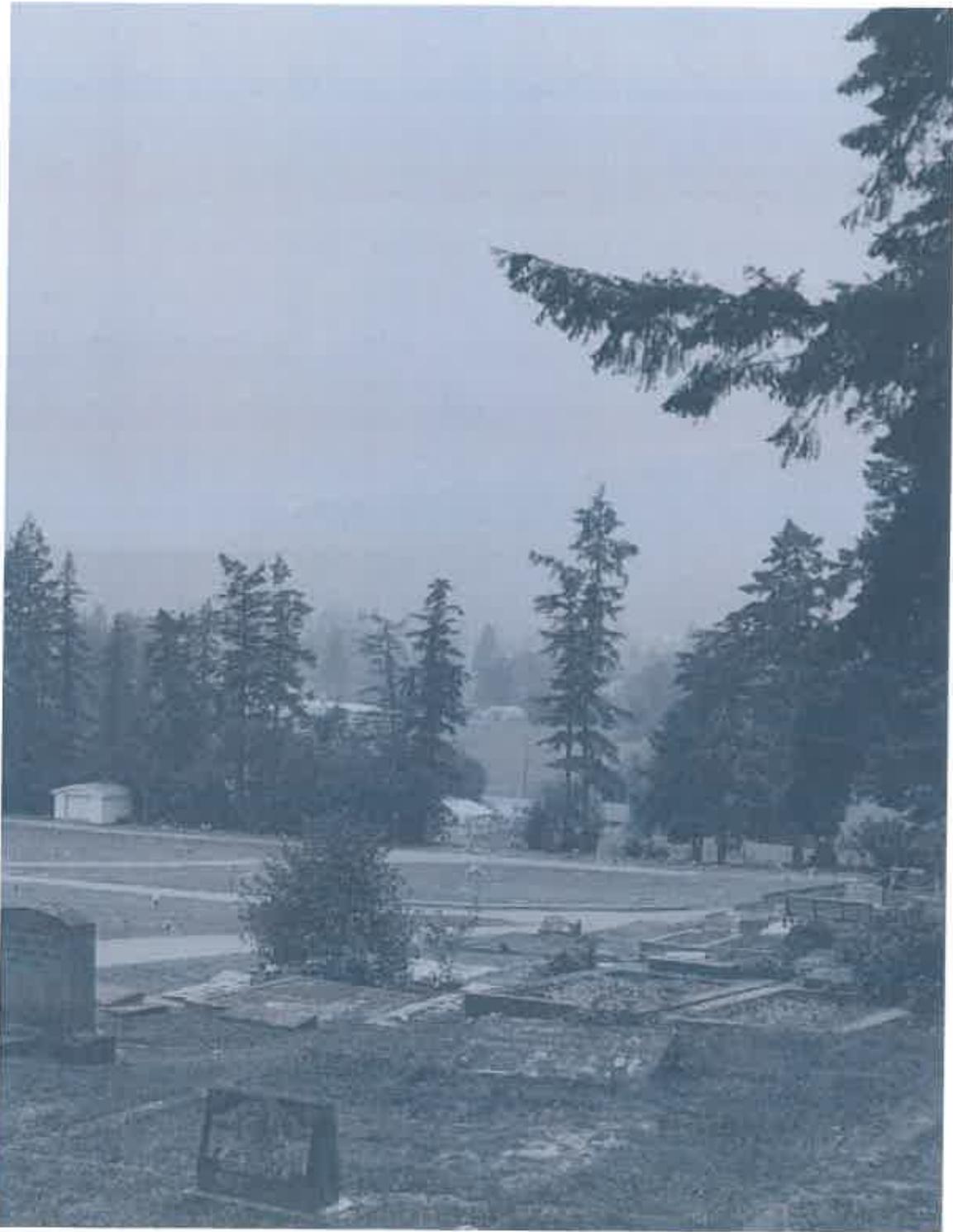


Figure48: The Cliffside Cemetery offers views in all directions. The most obvious view is to the Enderby Cliffs, however there are other subtle but beautiful views found throughout the cemetery. Source: LEES+Associates.

Commission

THE CORPORATION OF THE CITY OF ENDERBY

MEMO

To: Tate Bengtson, CAO
From: Jennifer Bellamy, CFO
Date: December 20, 2018
Subject: Purchase of Recreation Sound System

RECOMMENDATION

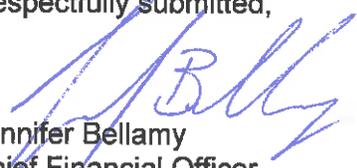
THAT the Enderby & District Services Commission authorizes the purchase of a new sound system for \$2,000.

BACKGROUND

Per discussion with Recreation Services, the sound system used for recreational programming needs to be replaced. As the unit is not expected to last until the 2019 budget deliberations, staff are requesting early budget approval in the amount of \$2,000 to replace the system.

The purchase will be a committed expenditure within the 2019 budget and will be funded through previous programming revenues (surplus) resulting in no net tax impact for this purchase.

Respectfully submitted,


Jennifer Bellamy
Chief Financial Officer

THE CORPORATION OF THE CITY OF ENDERBY

MEMO

To: Enderby & District Services Commission
From: Tate Bengtson, CAO
Date: January 4, 2019
Subject: Riverside Park Diamond 5 Referrals

RECOMMENDATION

THAT the Enderby & District Services Commission receives and files the attached comments received from unit holders of the Regency on the River strata complex;

AND THAT the Commission gives direction to staff on whether it wishes for a cost estimate to be prepared for detailed design and budget of Diamond 5, which would be included in the 2019 budget.

BACKGROUND

As part of the 2018 budget, the Enderby & District Services Commission supported retaining an expert to perform an analysis of the feasibility to install a fifth diamond. Lawson Engineering & Development were retained for perform the analysis. A copy of the report was presented to the Commission on September 26, 2018. The Commission resolved as follows:

Moved by Herman Halvorson, seconded by Tundra Baird

THAT the Enderby & District Services Commission refers the "Feasibility Design & Cost Estimating Services for Riverside Park Ball Fields" report to the ball user group meeting scheduled for October 2018;

AND THAT, subject to the ball user groups supporting a particular concept for a fifth ball diamond, the Commission directs staff to proceed with refining the design and costs, and work with the ball diamond user groups to discuss potential fundraising targets;

AND FURTHER THAT, subject to the ball user groups supporting a particular concept, the Commission provide notice to the Regency on the River strata corporation of the proposed project and invites comment."

CARRIED

A referral was made to the ball user groups, who selected a preferred option (configuration 3-2, with an asymmetrical field).

Consistent with the Commission's recommendation, the preferred option was then referred to the adjacent Regency on the River strata corporation for comment, with the intent that concerns could be addressed at the design stage to the extent reasonably possible.

The referral results are attached. The strata corporation did not provide a corporate comment, but a number of unit owners commented individually. Those comments are attached to this memorandum.

While not all unit owners submitted comments, those who did were consistently opposed to the concept. Among the reasons for the opposition were:

- The area should be left as open space
- It should be left as a place for dog walkers
- It will be disruptive for neighbouring property owners and there will be more noise
- It should be built somewhere else
- It will interfere with the strata corporation's snow clearing
- It is too close to the neighbouring properties
- It may interfere with parking on the strata's internal roads
- It will cost more to maintain

While mitigating measures can be built into the design to avoid conflicts such as foul balls intruding on private land, it would appear that the comments speak more directly to a fundamental opposition to the location.

There are a few contextual factors that the Commission may wish to consider as it evaluates the next step:

1. The quantity of responses was relatively limited, so it is difficult to discern if the lack was due to apathy, neutrality, or a sense that the existing negative comments have spoken sufficiently on the matter.
2. There are no other viable opportunities inside of City limits to expand facilities without significantly changing land uses or acquiring new lands.
3. The prevailing use of Riverside Park has been ball and events, for which the additional diamond does not present a change in use.

Prior to expending funds to proceed with a more detailed design and budget, staff are advancing this matter to the Commission so that it can evaluate the comments.

Respectfully submitted,



Tate Bengtson
Chief Administrative Officer

My feeling is to leave it as is for more open space in the field and less possible disruption to Residents in our complex.

I think if the city wants to expand on their sporting events they should build in another separate area that could leave room for expansion as the city grows i.e. a soccer field.... that is not surrounded by residential like it is now. But of course that would take more tax payers cash!!

From our perspective overlooking the ball parks, I must point out the hundreds of visits by dog walkers every day in the proposed ball diamond site next to Regency. The cost of maintaining the dog walkers park is minimal, especially in view of usage by the community. The cost of maintaining a ball diamond is significant. Upgrading the dog walkers park with benches and trees would be inexpensive compared to the cost of building, fencing, watering, mowing and maintaining a ball field.

The community and visitors use that space all the time with and without dogs.

The way we pile our winter parking lot snow in that field has a very significant impact on the way the community accesses the river walk and last year we made a problem for access for everyone.

I hope you will share our concerns with the City on our behalf.

I do not think there is adequate space for a ball diamond this close to our property. This is also a main area for many of our owners and many other people from around town to walk their dogs.

I don't think this is a very good idea.

Thank you for informing us of this project proposal. I am strongly against this addition.

This area is used for other park recreational activities by the community and neighboring residents. My property is adjacent to this new ball diamond proposal, and the noise factor increase will be significant.

I bought my property only in May of this year knowing I would have this area available for our use, with noise and yelling remaining further away.

The area is heavily used by local dog owners who take their dogs for walks and fun. In the summer months during, the park is already saturated with people, including the campground overflowing into that park area.

Parking at the end of my driveway will likely be more abused than it already is during the busy months, with people wanting a quick and easy access to that ball diamond.

My vote is a definite NO THANKS!!!

Money always wins in these matters, so I'm sure it will happen no matter how much protest or lip service is put towards the matter. I hope this doesn't fall on deaf ears.

Commission
Agenda

2018

ENDERBY OUTDOOR POOL FINAL REPORT



Sheryl Hay
Enderby & District Recreation Services
1/11/2018

INTRODUCTION

Enderby & District Recreation Services, under the Enderby Chamber of Commerce, is pleased to have managed the operations of the Enderby Outdoor Pool for another successful season in 2018.

Preparation began early in 2018 to ensure that staff, paperwork and procedures were in place prior to the pool opening and to allow for more opportunity to pre-register for pool programs. Program registration opened on April 19 and was accessible at the Chamber Building until the pool opened for the season on May 22. The Pool Safety Plan was updated to meet the requirements of the Provincial Health & Safety Regulations and included all staff information and training dates. In early May, eleven candidates were interviewed for aquatic positions with nine successful hires. Throughout the summer, three more staff was hired to meet employment changes in availability and program needs.

From May 1– 21, Pool and Parks staff completed a number of opening procedures. On Monday May 21, all aquatic staff participated in a four hour in-service training session which covered the policies and procedures of the Pool Safety Plan, NL fitness standards, and First Aid and evacuation simulations. The pool opened on time with a full schedule on Tuesday, May 22.

The School District #83 Swim Program served over 22 elementary classrooms this year including Grindrod Elementary, M.V. Beattie Elementary, Shihiya School, and South Canoe Alternate School. Grade 7 students from A.L. Fortune also participated in an adapted program that included aquatic sports and lifesaving skills, and Leadership students from the high school took part in pool fitness training. Splatsin Daycare also participated in a 5 day swim program. The school lessons brought in a total of \$4,056.77 in instructor fees which is up from 2017.

Red Cross Lessons were offered in five sessions this season. A total of 351 participants registered for pre-school, youth, private and semi-private lessons. Other programs offered were Dash 'n' Splash, Jr. Lifeguard club, Lifesaving leadership classes, Aqua-fit, Water Safety Instructor Re-certs and Youth Nights. All registered programs were well attended with positive feedback

Weather and extreme smoke resulting in poor air quality affected our public swim attendance this season. August numbers were down in both Public and Toonie swims and weekend attendance was low. Pool rentals were up this season and included bookings for scuba diver training.

The 2018 season ended with a Free Public Swim on Friday, August 31st. In the final week of operation, pool staff completed year end stats, inventory and general cleaning. After closing on August 31, Parks staff began procedures to neutralize the water before draining the pool and

completed all other closing procedures such as clean-up, shut down and winterizing of the facilities. This year the sand was removed from the filters to be replaced for the 2019 season.

Pool Revenues in 2018 were over the expectations by more than \$4,000. A total from deposits, including school revenue, came to \$42,601.51 up from \$40,436.46 in 2017. The largest revenue came from program registration which included the 5 Red Cross lesson sets, private and semi-private lessons, advanced courses, Dash 'n' Splash, and a Jr. Lifeguard club.

PRE-SEASON PREPARATION

Pre-season facility preparation began early May. It is recommended that a similarly structured timeline be implemented for 2019 with earlier prep time allocated for pool basin repairs and painting.

- ☺ Submit pool budget to City – *November*
- ☺ Arrange Pool Basin Maintenance for early spring - *November*
- ☺ Prepare summer pool and programs schedule– *January*
- ☺ Post supervisor job positions to newspapers and online job bank sites – *March*
- ☺ Call local schools to set up school lesson – *prior to Spring Break*
- ☺ Post part time staff job position to local newspapers and online job bank sites – *April*
- ☺ Interview and hire pool supervisor and assistant supervisor – *Early April*
- ☺ Update Pool Safety Plan and training manual - *end of April*
- ☺ Drop off paperwork to schools for lessons – *May 1*
- ☺ Part time staff interviews & Hiring– *early May*
 - *Wet Interview scheduled at nearby indoor Pool*
- ☺ Place Canadian Red Cross & Lifesaving order – *mid May*
- ☺ Pick up school sheets – *before May long weekend*
- ☺ Print pool paperwork – *mid May*
- ☺ Pool in-service Training – *May 20*

Recommendation: 1) Repair and re-paint pool basin from shallow end to diving line either fall 2018 or early spring 2019. 2) Re-paint shower floors in ladies change room. 3) Sand and repaint gutters

PARKS AND RECREATION STAFF

Parks and Recreation staff, Sheldon and Peter, provided support and assistance to the Pool staff throughout the 2018 season. Along with the pre-season preparation, Parks staff completed the morning water tests daily, adjusted chemicals as needed and performed weekly filter backwashes and pool maintenance. Pool staff completed two additional daily water tests and reported any concerns or incidents to Parks staff. City Public Works staff performed weekly CARO water tests and reported results to Enderby Recreation Services. Water quality was deemed excellent this season with all testing completed on time. There were no pool closures due to water quality or bodily fluid incidents this season. However, extra maintenance was required in late June to repair large pieces of pool bottom that was lifting; resulting in large patches with sharp edges in the shallow end bottom. When gluing rubber mats



over the affected areas did not work, Parks staff did a temporary repair by filling and smoothing the sharp edges with a water proof material. This material was also used to fill gaps and holes considered unsafe along the walls in the



shallow end and on the west side wall of the basin. The fix did hold sufficiently for the season.

POOL STAFF 2018

This season proved challenging in finding sufficient pool staff with certifications and availability to cover all programs & schedule. Many former staff had moved onto other careers and new hires came with restricted availability and partial certifications. To avoid closures and class cancelations, I was required to fill in many instructing shifts and a few guarding hours. On three occasions this season, we had to close the pool due to lack of staffing. To keep competitive with the rising minimum wage, we need to look at an increase to our pay rates for aquatic positions that require employees to have significant training. Our 2018 staff included:



Sheryl Hay – Pool Manager. 28years of experience in the Aquatic Field: *Current in NL, LSI, CPR, WSI, WSIT, BCRPA certified Aqua Fit, Older Adult, Water Art Aquatic Personal Trainer and Aquatic Re-habilitation Specialist and Pool Operators I & II*

Brooklyn Hay- Aquatic Supervisor – 3rd year. *Current in NLS, WSI, LSI, BCRPA aqua-fit, weight trainers, Personal Trainer, SFA & CPR.*

Tiaura-Lee Jenkins - Assistant Supervisor- 1st year. *Current in NLS, WSI, SFA, CPR*

The following staff members were hired as part time instructors/lifeguards: **Teresa Froese** (NSL, WSI, LSI, BCRPA and CPR), **Bailey Williamson** (NLS, SFA, WSI, LSI,CPR), **Bree Cooper**, **Ellen Kourtessis**, **Tiffany Mick**, **Bobby Wangler**, **Claire Hall** (NLS, WSI, SFA, CPR), **Beth Ralston**, (NL, BCRPA, CPR), **Emma Brennan** (NL, SFA, CPR)

Recommendation: 1) Increase staff wages to be more competitive with seasonal job opportunities and other aquatic facilities. 2) Include a wet interview with pre-season interviews and provide 2 additional training sessions during summer season to keep skills and procedure practice familiar.

SPRING

OPENING PROCEDURES

The following is a record of the duties and upgrades completed in May.

- Draining and pressure washing of pool basin
- Installation of new picnic table seats
- Gutter and line paint touch ups
- Change room floors re-painted
- Pumps and filters start up
- Filling pool, adding and balancing chemicals

May 14– 18, Pool staff completed tasks:

- Pressure washing and cleaning change rooms
- Painting benches and trim
- Pressure washing patio viewing area and old spray park
- Weeding and cleaning old spray park
- Cleaning and organizing office, equipment room, and janitorial room
- Creating an inventory of chemicals, cleaning supplies, equipment and Red Cross materials
- Creating a staff schedule
- Organizing and coordinating school swimming lessons
- Organizing lesson registration
- Stocking all forms from manager of Recreation Services

SPRING STAFF TRAINING

On May 21, Aquatic staff participated in an orientation to the pool which included a review of job expectations, pool and office tour, first aid review, rescue and evacuation procedures. Supervising staff also took employees through equipment room layout, how and when to complete incident/ accident reports, how to complete pool tests, general pool procedures and rules and cleaning and maintenance expectations. Staff were instructed on lesson registrations, debit machine usage, general office information such as location of paperwork, payment information, pool costs, public relations, how to politely enforce the rules, answering the phone, customer service expectations and program information. In the water, staff completed their National Lifeguard fitness standard skills (25m Head up front crawl, Pia Carry, 50m carry, and submerged victim) emergency evacuation procedures and major First Aid rescue skills. All staff was issued a staff manual and copy of the pool safety plan along with a Lifeguard shirt, pair of gloves and facility keys. The supervisors posted weekly updates as well as monthly fitness challenges to keep staff motivated and up to date. All training was dated and documented in the pool safety plan along with their awards and certifications dates.

SCHOOL SWIM PROGRAM

Communication with school administrators started early again this year to accommodate busy spring schedules and work around class field trips. A conversation was had with high school staff at A.L. Fortune to arrange for the grade 7's to continue to receive the water safety education and swimming skills at the Enderby Pool. Elementary aged classes participated in a five day Red Cross Swim @ School program. All participants received a Certificate at the end of their week with recommendations for placement in the Red Cross swimming program that is offered in the summer. The school lessons ran from May 28 to June 22.



The following schools participated in the 2018 Red Cross Swim @ School program:

School	Hours Used	Total
Grindrod Elementary	15.0 hours with 3 instr. @ \$17.25/hour	\$776.25
A.L. Fortune (gr. 7)	9 hours with 2 or 3 instr. @ \$17.25/hour	\$448.50
A.L. Fortune –Leadership	2 hours	\$69.00
M.V. Beattie Elementary	37.75 with 3 instr. @ \$17.25/hour	\$1,927.69
Shihiya School	8.75 hours with 3 instr. @ \$17.25/hour	\$452.81
South Canoe Alternate	2.5 hrs with 2 instr. @ \$17.25/hour	\$86.25
Splatsin Daycare	4 hrs (lesson and rec swim)	\$237.50
Other		\$66.77
Total revenue from Swim @ School program		<u>\$4,056.77</u>

SUMMER

RED CROSS LESSONS

Registration for all summer programs started April 19th, slightly ahead of other community registration dates. Once again, we had line ups out the door; taking more than 70 registrations on the first day. Still the biggest frustration for our community is the lack of on-line options for registration or credit card payment option to permit call in registration. With our cash/ cheque / or debit options, families must register in-person.

The spring lesson set ran June 11 to 22 from 3:45pm to 6:00pm with three instructors. Registration for this set was higher than 2017 with 60 registrations. Four more Red Cross lesson sets were offered over

the summer months that included private and semi-private lessons along with group lessons. The first lesson set ran from July 2-13, the second set ran July 16-27, the third set ran July 30 - Aug.10, and the fourth set Aug. 13-24. All sets ran between 9:30am and 12:30pm. Private and semi-private lessons were also offered in the late afternoon before public swims. There was an increase in registration for the 4th year in a row with 351 participants. Private and Semi-private Lessons continue to grow in popularity as an option to a 2 week program.

Each lesson set included a Parent Participation Day, on day #6, program evaluations were handed out on day #9, and the participant Progress Card on the last day of the program. Again this year, the final class was a themed Dress Up day, which was a big hit with instructors and participants alike. A challenge with swim lesson registration continues to be the timing for when registration can be taken.



Program evaluations were handed out during the swim lesson sets with 164 returned. Overall swimming instruction was evaluated as excellent. There were numerous positive comments on instructor professionalism, patience and enthusiasm. Constructive comments recorded continue to include facility upgrades with change rooms, a more modern registration system and more options for lesson in the evenings. As an aquatic team, our goal is to exceed expectations, here are some of the quotes pulled from the lesson evaluations that I am very proud to include:

"My Grandson's say these are the best swimming lessons they have ever had – and they've had a lot!!"

"To the City of Enderby, thank you for this wonderful facility, in keeping it beautiful and clean and well staffed, all the staff and services are much appreciated!"

"We feel lucky to have such an incredible teaching staff as well as Rec Services in our small town."

"The Instructors at Enderby Pool are the reason we do lessons here."

"We just want to let you know we really appreciate the excellent instruction our kids received during the week. The overall level of engagement & excitement was great. Sitting back watching the other classes was interesting because you could see the care and attention given to students that respected their level of strength and confidence by the instructors."

"To be completely honest, I am pretty judgey of instructors from all my time teaching swimming lessons. Watching your instructors was amazing. The kids are so excited to come and push themselves. I will make the drive for you again next year."

Here is a breakdown of summer registration in Swim Lessons as compared with the last three seasons. *Note this does not include the spring set.

LESSON SET	2016 REGISTRATION	2017 REGISTRATION	2018 REGISTRATION
Summer 1	80	50	48
Summer 2	74	63	64
Summer 3	77	48	52
Summer 4	N/A	51	38
Private / Semi Private	65	92	90
Total	296	304	292

Our Spring Set was higher than normal with 60 registrations

Total Swim Lesson registration breakdown by levels including private and semi-private classes:

Program	Spring	Session I	Session II	Session III	Session IV	Totals
Parented	4	2	5	3	2	16
Sea Otter	8	7	4	8	7	34
Salamander	8	8	8	8	6	38
Sunfish	2	1	3	2	1	9
Croc / Whale	0	1	3	4	0	8
Level 1	2	2	4	6	6	20
Level 2	5	7	6	7	3	28
Level 3	9	7	6	4	4	30
Level 4	4	6	10	1	4	25
Level 5	7	4	5	4	3	23
Level 6	0	0	6	3	2	11
Level 7	4	1	1	2	0	8
Level 8-10	2	2	3	0	0	7
Private Lessons	2	9	12	8	9	40
Semi Private Lessons	3	14	13	9	15	54
Totals	60	71	89	69	62	351

Recommendation for Lessons: 1) Offer an evening lesson set for working parents. 2) Offer Red Cross Swim camp as 1 week options for lessons

OTHER AQUATIC PROGRAMS

The air quality had an effect on many of our programs this summer. Numbers were up in the Dash 'n' Splash drop-in program as well as our Lifesaving Society Leadership Bronze classes. We also offered 2 Red Cross Water Safety Instructor re-certifications with 6 successful candidates. We saw a decline in numbers in the Jr. Lifeguard club; however staff was extremely happy with the participation and community leadership from this group. Members of the Jr. Lifeguard club lead a water safety education day at Tuey Park this summer, but unfortunately did not get to participate in the annual competition with Armstrong's club. Numbers were also down slightly in with the Youth Night events.



Program	May	June	July	August	Totals
Dash 'n' Splash	n/a	n/a	32	25	57
Jr. Lifeguard	n/a	n/a	14	7	20
Bronze Classes	n/a	n/a	12	8	20
WSI-R	n/a	2	4	n/a	6
	May	June	July	August	Totals
Aqua Fit	104	376	422	452	1354
Public Swim	184	322	900	574	1980
Toonie Swim	145	213	123	29	510
Youth Night		25	24	20	69



The Aqua Fit program had another successful season with over 1350 participants between May and August. This is down slightly from last year due to the risk of exercising in the smoke and poor air quality in the month of August. All classes were offered from opening day, May 22 to August 31. Eleven class options were offered a week taught by five BCRPA certified instructors.



Public and Toonie swims were down this year due largely in part to the extreme poor air quality. Public swimming numbers totalled 1,980 which include rental swim numbers. There was a noticeable increase in family drop-ins with 724 this season as well as extra interest in monthly and 10x passes for youth and

families. Youth and Senior Drop-ins continue to be our biggest draw with 679 single admissions this season. Adults accounted for 114 drop-ins and there were 13 pre-school and 12 Parent & Tot.

Youth Nights saw 69 participants this summer in 3 event dates. This matches our 2016 numbers but is down from 2017. This season, the themes included June 23rd – Summer Survivor, July 28th – Hawaiian Luau and Aug. 25th – Disco Glow

Private Pool rentals continue to be a popular choice for family events or team wind-ups. These bookings are scheduled on weekends around the public swim times or during an open time slot during weekdays. Non-Profit rental fees were paid as group rates during our public swim times.

Rentals -1-50ppl	\$67.00	20	\$1,340.00
Rentals - 50-85ppl	\$91.50	0	0
Rentals - Non Profit	\$20.00	6	\$120.00
Rentals - Non Profit	\$32.50	1	\$32.50
Rentals - Non Profit	\$52.50	1	52.50
			\$1,545.00

On July 1st, Aquatic staff along with a small number of Jr. Lifeguards participated in the Canada Day parade promoting water safety and program participation. The Enderby Pool also hosted a free swim to coincide with the Canada Day celebrations in the park. Wet and rainy conditions along with thunder and lightning shortened this event both at the pool and in Barnes Park.

Aquatic Program Recommendations: 1) Provide a new program or club for youth who have completed all Red Cross levels and are waiting to be old enough for Lifesaving courses. 2) Offer an after work lesson swim lesson set. 3) Move Youth nights back to a weeknight event.

LIFEGUARDING/SAFETY

This seasons Lifeguarding team was under the leadership of Brooklyn Hay and Tiaurra-Lee Jenkins. There was some staff turnover during the season and late hires to meet the programming needs. The majority of staff was diligent in meeting all expectations of their job description and exceeding expectations in quality of instruction. Guards used appropriate deck positions and executed good scanning skills rotating every 15-20 minutes to keep



a fresh perspective on the pool. The Guards proved to be highly effective at preventing accidents and encouraging safety. During most shifts one Guard was stationed on deck, while one completed administrative work in the office. During events where patron numbers were high both Guards were positioned on deck. One staff member endured an injury while cleaning up at the end of her shift and completed a Worker's Compensation Claim. She did not miss any hours of work as the incident happened on her last shift.

2018 Incidents			
Minor First Aid		Theft	
Bee Stings/ Bug Bites	7	Personal	2
Bleeding Nose	3	Facility	1
Cuts or Scrapes	8	Car	0
Other	2		
	20		
Major First Aid		Pool Water Fouling	
Drowning Rescue	1	Fecal Matter	0
		Vomit	0

All incidents this season were dealt with quickly and professionally. Minor Accidents consisted primarily of bee stings and cuts or scrapes. The one DNS (Drowning Non-Swimmers) rescue was performed with no post incident injuries.

SUPPLIES AND EQUIPMENT

The Pool was supplied with the following items this season:

- Additional resistance bands and hand bars for Aqua Fit classes
- Case of noodles
- Flippers for lessons
- Aquatic Instructor matt
- 5 PFD's
- Balls and dive toys for instructors
- New Pace clock
- Basket ball hoop and base
- Floating Foam log roll
- New pool Thermometers

OPERATIONS/MAINTENANCE

The staff kept the office, storage areas, change rooms and deck clean and tidy. The biggest challenge was the deteriorating pool bottom and increasingly slippery floor in the equipment room. The high traffic area of the pool deck needs to be touched up with paint and the fridge in the Equipment room will also need replaced for the 2019 season as it is required to hold first aid ice and supplies

Recommendations: 1) a new or used fridge to replace current one in equipment room. 2) Purchase mats or cover for slippery floor area in the equipment room.

CLOSING PROCEDURES

During the last week of operation, with a reduced schedule, the supervisor and assistant supervisor worked on site to start the shutdown tasks of inventory, reports and evaluations. Following the last swim on Friday, August 31st, the pumps were shut off, the change rooms were scrubbed clean, the office was cleaned and organized and the equipment was dried and put away for the season.

Parks and Recreation staff completed the remainder of the shut down actions which included:

- Turning off the heater
- Pumping the pool water down to the water table level
- Adding algaecide to the remaining water
- Shutting pumps down for the season
- Removing Sand from filters (last completed in 2012)
- Winterizing the washrooms
- Removing ladders and basketball hoop and wall clock
- Covering the Slide with a tarp
- Adding antifreeze to pumps
- Winterizing equipment rooms
- Removing and storing First Aid and office equipment
- Creating a list for materials and items needed for the 2019 season

Maintenance Recommendations: 1) Patch and paint touch-ups to pool basin. 2) Sand down and re-paint gutters 3) Check all ladders for cracks and replace parts as needed.

ENDERBY LIONS POOL BUDGET 2018

REVENUE

The Enderby Pool Revenue for 2018 was as follows:

Public Swim	\$8,909.55
Fitness	\$7,006.42
Swim Lessons	\$22,628.95
School Lessons	\$4,056.77
Total Revenue:	<u>\$42,601.51</u>
Budgeted Revenue:	\$38,400.00
Over Expectations:	\$4,201.51

EXPENSES

Staff Wages

<u>Wages</u>	<u>\$41,659.58</u>
Budgeted Expenses:	\$45,500.00
Under Expectations:	\$ 3,840.42

Contract Wages

<u>Benefits</u>	<u>\$ 2,549.86</u>
Budgeted Expenses:	\$ 2,900.00
Under Expectations:	\$ 350.14

Marketing and Advertising

<u>Marketing & Advertising</u>	<u>\$ 265.00</u>
Budgeted Expenses:	\$ 900.00
Under Expectations:	\$ 635.00

Note: in-house printing of guide and posters should have added up to more from this account as well as pool deck signage. Newspaper (Rivertalk) stories accounted for most marketing.

Training

NL Re-cert	\$ 110.00
LSI Re-cert	\$ 110.25
LSI Course -Supervisor	\$ 328.00

Affiliate Mtg – travel	\$	40.50
Water Art Training Course	\$	159.20
Total Expenses:	\$	<u>747.95</u>
Budgeted Expenses:	\$	800.00
Under Expectations:	\$	52.05

Program & Office Supplies

Program Supplies	\$	1,368.82
Red Cross Supplies	\$	1,016.01
Lifesaving Supplies	\$	1,375.96
First Aid Supplies	\$	60.00
Office Supplies	\$	90.00
Uniforms	\$	0.00
Affiliate Fees	\$	85.00
Total Expenses:	\$	<u>3,995.79</u>
Budgeted Expenses:	\$	4,400.00
Under Expectations:	\$	404.21

**does not include expenses charged by Parks department for pool equipment or the pool toys purchased with monies allocated for tot slide.

BUDGET PROPOSAL 2019

Staff Wages	Budgeted Expenses	\$48,070.00
Staff Benefits	Budgeted Expenses	\$2,900.00
Marketing & Advertising	Budgeted Expenses	\$900.00
Training	Budgeted Expenses	\$575.00
Programs and Supplies	Budgeted Expenses	\$4,600.00

EQUIPMENT SUGGESTIONS FOR 2018

Below is a list of equipment and supplies:

- Replaced Lifejackets (4 each of 30-60lbs and 60-90lbs)
- Updating the First Aid supplies
- 6 additional leg cuffs for Aqua Fit
- Replacement eye wash for guard room

CAPITAL IMPROVEMENT SUGGESTIONS

2019

- Patch and paint shallow end area of basin (quotes provided)
- Deck surface around change rooms and shallow end requires some patch paint work
 - Paint left by Mike
- Sand and re-paint basin gutters
- Re-paint shower stall walls and floor
- Touch up paint on change room floors