

## REGULAR MEETING OF COUNCIL

### AGENDA

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**DATE:** Tuesday, May 20, 2014  
**TIME:** 4:30 p.m.  
**LOCATION:** Council Chambers, Enderby City Hall – 619 Cliff Avenue

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1. **APPROVAL OF AGENDA**
2. **ADOPTION OF MINUTES**  
  

[Regular Meeting of May 5, 2014](#) pg 1-10
3. **PUBLIC AND STATUTORY HEARINGS**
4. **PETITIONS AND DELEGATIONS**
5. **DEVELOPMENT MATTERS**
  - a. [002-14-DP-END](#) pg 11-30  
Lot 1, DL 226, ODYD, Plan KAP75600 – 601 Bass Ave  
Applicant: Vanko Services Ltd
  - b. [003-14-DP-END](#) pg 31-53  
Parcel A (being a consolidation of Lots 1, 2 and 3, see LB165752) Block 2,  
District Lot 150, K(formerly O)DYD, Plan 920 – 308 George St  
Applicant: Shane Noble c/o Lynn Noble
  - c. [003-14-DVP-END](#) pg 54-61  
Lot 1, Section 26, Township 18, Range 9, W6M, KDYD, Plan KAP91035 –  
1102 High St  
Applicant: Ron Riggall
  - d. [004-14-DVP-END](#) pg 62-72  
Lot A, District Lot 150, K(formerly O)DYD, Plan 10556 Except Plan EPP7929 –  
907 George St  
Applicant: City of Enderby
6. **BUSINESS ARISING FROM THE MINUTES AND/OR UNFINISHED BUSINESS**
  - a. [Knoll Neighbourhood Plan Adoption](#) – Memo from Assistant Corporate Officer and  
Planning Assistant dated May 14, 2014 pg 73-83
7. **BYLAWS**

**8. REPORTS**

- a. [Mayor and Council](#)
- b. [Report of Public Hearing of May 5, 2014](#) pg 84
- c. [Building Permit Detail Report – April, 2014](#) pg 85-86

**9. NEW BUSINESS**

- a. [Prime Corp](#) – Correspondence dated April 30, 2014  
Re: Service Delivery pg 87-88
- b. [Legion Road Closures](#) – Memo from Chief Administrative Officer dated  
May 8, 2014 pg 89-98
- c. [Legion](#) – Correspondence dated May 9, 2014  
Re: Thanks pg 99
- d. [Emergency Management BC](#) – Correspondence dated May 7, 2014  
Re: [Earthquake Preparedness](#) pg 100-108
- e. [Changes to Glass Recycling in North Okanagan](#)  
[Information Bulletin from RDNO](#)  
[Concerns from Linda Prevost](#) pg 109  
pg 110
- f. [RDNO Media Release dated May 14, 2014](#)  
North Okanagan Agricultural Plan Seeks Public Input pg 111

**10. PUBLIC QUESTION PERIOD**

**11. CLOSED MEETING RESOLUTION**

Closed to the public, pursuant to Section 90 (a) (\_\_\_) of the *Community Charter*

**12. ADJOURNMENT**

**THE CORPORATION OF THE CITY OF ENDERBY**

Minutes of a **Regular Meeting** of Council held on Monday, May 5, 2014 at 4:30 p.m. in the Council Chambers of City Hall

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Present: Mayor Howie Cyr  
Councillor Tundra Baird  
Councillor Brad Case  
Councillor Raquel Knust  
Councillor Beryl Ludwig  
Councillor Greg McCune

Chief Administrative Officer – Tate Bengtson  
Deputy Administrative Officer – Barry Gagnon  
Chief Financial Officer – Jennifer Bellamy  
Assistant Corporate Officer and Planning Assistant – Kurt Inglis  
Recording Secretary – Bettyann Kennedy  
The Press and Public

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**APPROVAL OF AGENDA**

The following item was added to the agenda under Petitions and Delegations:

- Ron Surry, President – Royal Canadian Legion

The following item was added to the agenda under Business Arising from the Minutes and/or Unfinished Business:

- Little City Fashions - Remediation

Moved by Councillor Ludwig, seconded by Councillor Baird that the agenda be approved as amended.

Carried Unanimously

**ADOPTION OF MINUTES**

Regular Meeting Minutes of April 22, 2014

Moved by Councillor Baird, seconded by Councillor Case that the minutes of the regular meeting of April 22, 2014 be adopted as circulated.

Carried Unanimously

**PUBLIC AND STATUTORY HEARINGS**

The regular meeting gave way to the Public Hearing.

The regular meeting re-convened at 4:38 p.m.

**PETITIONS AND DELEGATIONS**

Paul Demenuk and Mike Simpson – Shuswap Watershed Council

Re: Proposed Program Objectives and Activities Underway in 2014



Mr. Demenuk produced a powerpoint presentation that covered the following information about the program:

- The Shuswap Watershed Water Quality Program (SWWQP) is proposed to be a collaborative program. Their focus is on water quality and the causes and effects that certain activities have on the quality of our rivers and lakes.
- Vision - to enhance water quality and safe recreation use in the Shuswap watershed.
- Water quality monitoring is ongoing. Although the testing shows the water to be generally "good", there are some hot spots in the lakes. Salmon carcasses and human activities (land used for agriculture) affect the phosphorous levels from Salmon and Shuswap Rivers.
- The program is needed because other level of governments are not doing enough. There has been a lack of planning, sharing of information, and public participation. The Water Sustainability Act focuses on use, not quality.
- 4 objectives:
  - Collaborate to ensure safe drinking water, support tourism through fishing, boating and swimming, and save time and money by working with partners.
  - Coordinate the data collected and use science to support decision making.
  - Communicate by engaging residents and visitors about water quality and the activities of the program and sharing the information through various means.
  - Educate recreational users about safety on the water.
- The program covers the entire Shuswap watershed.

Mr Simpson explained what is being done and the monies are being spent. The 2014 budget is a total of \$266,000. Open houses are planned in this area and they are seeking Council's participation in these events. He also explained how this program differs from the concluded SLIPP program. SLIPP was strategic, and SWWQP's focus is on water quality.

In response to questions:

- Open houses are being planned for July and August so as to include seasonal residents.
- Grants are funded from gas tax, CSRD taxes, and municipal government contributions.
- Issue of invasive mussels needs to be addressed at the provincial level, because once they are here, it is too late. Public education on this issue will help though.
- Recreation Safety Model will focus on recreational safety on the water. The River Ambassador program offers an excellent opportunity to share information.

Bob Cowan – Enderby Drill Hall Committee

Re: 100<sup>th</sup> Anniversary of Drill Hall

This year marks the 100<sup>th</sup> anniversary of the Drill Hall. A history of the Drill Hall was circulated. An invitation was extended to the Mayor and Councillors to cut the cake at the centennial celebrations taking place at noon on June 7<sup>th</sup> at the hall. Various user groups will be providing displays, demonstrations, and other activities.

Kara Wilhelms – Enderby and District Resource Centre

Re: Grant Update – Community Action Initiative

Ms. Wilhelms was hired to secure grants for the Centre. They are currently working on a "connectedness" grant to help individuals and families affected by mental health issues, substance abuse, and unhealed trauma.



The goal of the interagency committee (primary and secondary partners) is to work with community members to find out what they need.

They hope to be successful in securing grand funding. Success if the program will impact employment, counselling, community image, increase support, and help attract young families.

*Late Item:* Ron Surry, President – Royal Canadian Legion

- Mr. Surry expressed thanks for the property tax exemption they receive.
- They are second behind only the Lions Club in donations to the community.
- They support various veteran services and also honour first responders.
- Expressed appreciation for help with Cenotaph park upgrades.
- The entertainment events at the Legion results in attracting people from outside the area into town. Their "Jammers" sessions are particularly successful.
- Personal support from Mayor and Council who attend various functions is appreciated.
- Hall upgrades are being planned.
- Overall, the Enderby Legion is very successful and financially sound.

### **BUSINESS ARISING FROM THE MINUTES AND/OR UNFINISHED BUSINESS**

*Late Item:* Little City Fashions – Remediation

Moved by Councillor McCune, seconded by Councillor Baird that:

WHEREAS on May 6, 2013 Council resolved (the "May 2013 Resolution") to impose remedial action requirements upon the registered owners (the "Owners") of the property located at 607 Cliff Avenue, Enderby, B. C., and more particularly known and described as:

PID: 012-977-535  
 Parcel A (DD KC7720 and Plan B1133)  
 District Lot 150  
 Kamloops (formerly Osoyoos) Division Yale District  
 Plan 211A

AND WHEREAS pursuant to section 76(3) of the *Community Charter*, SBC 20013, c 26 ("Community Charter") Council may extend the time limit for completing the remedial action requirements described in the May 2013 Resolution.

NOW THEREFORE, the Mayor and Council of the City of Enderby, in open meeting assembled, resolve as follows:

1. Pursuant to section 76(3) of the *Community Charter*, Council extends the time limit for completing the remedial action requirements described in the May 2013 Resolution to thirty (30) days from the date notice of this Resolution is sent to the Owners;
2. If the Owners have not completed such remedial action requirements within thirty (30) days from the date notice of this Resolution is sent to the Owners, then the City may take action as more particularly described and authorized by Council in the May 2013

Resolution (a copy of the May 2013 Resolution is attached as Appendix "A" to this Resolution); and

3. The City is to provide notice of this Resolution to the Owners in accordance with section 77 of the *Community Charter*.

APPENDIX "A" of May 5, 2014 Resolution

Excerpt from the Regular Council meeting of May 6, 2013:

*"THAT Council considers the background report from the Deputy Chief Administrative Officer dated April 30, 2013 regarding the structure located at 607 Cliff Avenue within the City of Enderby (the "Property"), formerly containing the business operated as "Little City Fashions"; and*

*THAT Council resolves to impose remedial action requirements in respect of the structure located upon the Property on the following terms:*

1. *Pursuant to Section 73 of the Community Charter. Council declares that the structure located upon the Property is in or creates an unsafe condition and that, pursuant to Section 74 of the Community Charter, Council further declares that the condition of the structure constitutes a nuisance as being so dilapidated or unclean as to be offensive to the community;*
2. *A remedial action requirement is imposed upon Paul van Dokkumburg, Joan van Dokkumburg, Mark Noakes, and Shannon Noakes (the "Owners") whereby that within thirty (30) days from the time that Notice of this Resolution is served upon the Owners:*
  - a. *The structure must be removed from the Property;*
  - b. *All items of rubbish and debris must be removed from the Property; and*
  - c. *Any natural or artificial openings in the ground upon the Property must be filled and the Property left in a reasonably level condition;*
3. *Upon expiration of the thirty (30) day notice period, if the Owners have neglected, refused or otherwise failed to satisfactorily carry out the remedial action requirements, the City hereby authorizes its agents, contractors, and/or staff of the City to enter upon the Property and carry out the remedial action requirements at a time and in a manner convenient to the City; and*
4. *In the event that, as a result of the neglect, refusal or failure of the Owners to satisfactorily carry out remedial action requirements and the City (its agents, contractors, or employees) enters upon the Property and carries out remedial action requirements, then such charges, fees and costs incurred by the City in doing so shall be payable forthwith by the Owners to the City and any such amount which remains unpaid by December 31<sup>st</sup> in the year that such charges, fees and costs were incurred by the City shall be a charge or lien on the Property and deemed to be taxes in arrears and shall be collected in the same manner and with the same like remedies as ordinary taxes on land and improvements under the Community Charter."*

Carried Unanimously



**BYLAWS – 3<sup>rd</sup> Reading and Adoption**

Zoning Bylaw Text Amendment Bylaw No. 1536, 2014

A bylaw to amend the City of Enderby Zoning Bylaw No. 966, 1987 in order to prohibit Medical Marihuana Production Facilities in all zones throughout the City of Enderby and to regulate Medical Marihuana Production Facilities when located within the Agricultural Land Reserve

Moved by Councillor Case, seconded by Councillor Knust that Zoning Bylaw Text Amendment Bylaw No. 1536, 2014 be given third reading and adoption.

Carried Unanimously

Zoning Bylaw Text Amendment Bylaw No. 1538, 2014

A bylaw to amend the City of Enderby Zoning Bylaw No. 966, 1987 in order to broaden residential uses within the General Commercial (C.1) and Highway and Tourist Commercial (C.2) zones

Moved by Councillor Baird, seconded by Councillor McCune that Zoning Bylaw Text Amendment Bylaw No. 1538, 2014 be given third reading and adoption.

Carried Unanimously

**BYLAWS – Adoption**

2014 – 2018 Financial Plan Bylaw No. 1539, 2014

A bylaw respecting the 2014 – 2018 Financial Plan

Moved by Councillor Ludwig, seconded by Councillor Case that 2014 – 2018 Financial Plan Bylaw No. 1539, 2014 be reconsidered and adopted.

Carried Unanimously

Sewer Frontage Tax Bylaw No. 1540, 2014

A bylaw to impose a sewer frontage tax on owners of land pursuant to the provisions of the Community Charter

Moved by Councillor McCune, seconded by Councillor Case that Sewer Frontage Bylaw No. 1540, 2014 be reconsidered and adopted.

Carried Unanimously

Water Frontage Tax Bylaw No. 1541, 2014

A bylaw to impose a water frontage tax on owners of land pursuant to the provisions of the Community Charter

Moved by Councillor Ludwig, seconded by Councillor Baird that Water Frontage Tax Bylaw No. 1541, 2014 be reconsidered and adopted.

Carried Unanimously

Fees and Charges Bylaw No. 1479, 2010 Amendment Bylaw No. 1542, 2014

Schedules 3, 4, and 9 substituted

Moved by Councillor Knust, seconded by Councillor Case that Fees and Charges Bylaw No. 1479, 2010 Amendment Bylaw No. 1542, 2014 be reconsidered and adopted.

Carried Unanimously



Annual Tax Rate Bylaw No. 1543, 2014

A bylaw for the levying of rates for Municipal, Regional Hospital District, Regional Library, and Regional District Purposes

Moved by Councillor Ludwig, seconded by Councillor Baird that Annual Tax Rate Bylaw No. 1543, 2014 be reconsidered and adopted.

Carried Unanimously

REPORTSCouncillor Case

- Attended the annual Our Enderby Clean-up.
- Participated in the Hike for Hospice by hiking the Cliffs.
- SILGA
  - No surprise that Southern BC growth rate is small and the population is elderly.
  - Election Reform – although this will mostly impact larger communities, Councillor Case encouraged everyone to check out the website.
  - Did plenty of walking around Penticton and engaged with residents and merchants. When retailers were about their market, the comment was that although good from a social aspect, not good for existing businesses. This mirrors our merchant comments.
  - Resolutions: MMBC – government encouraged to get them to better organize the program; Emergency Services – ICBC needs to compensate smaller communities.

Councillor McCune

- Thanks to everyone for participating in the Art Gallery auction.
- Would like to see pressure put on the Ministry of Transportation to have new signage at the south end of town by the long weekend. The Chief Administrative Officer reported that the sign is in production and he will contact them about expediting installation.

Councillor Baird

- The Zumbathon raised about \$300 for the Spray Park project. This amount will be generously matched by Alyson Witts.
- SILGA
  - Enjoyed the SILGA presentation about team-building by Westjet VP.
  - Penticton's revitalization efforts are amazing. The trails appear to be very well used.
  - Fink Machine was at the trade show. Golden has shown an interest in pursuing bio energy.

Councillor Ludwig

- Attended Art Gallery auction.
- Participated in Our Enderby clean up.
- SILGA

- Downtown revite session – main message was to keep focus on the big picture.
- Mayor of Calgary was an excellent speaker.
- Rossland not pleased with the government auditor's "help" (lack of).

### Mayor Cyr

- CAO Recruitment meeting at RDNO.
- Courtyard Gallery 1<sup>st</sup> anniversary celebrations.
- Senior Centre volunteer luncheon.
- Art Auction at the Legion.
- Kudos to Assistant Corporate Officer and Planning Assistant for organizing another successful clean up.
- SILGA:
  - Resolution to get representation on IHA Board was successful and will be forwarded to UBCM.
  - Physician recruitment – was able to network with other communities and share information
  - MIA presentation was interesting.
  - Presentation on downtown revitalization confirms that we are on the right track.
  - Lots of networking and sharing common concerns, particularly physician shortage.
- Met with MLA Kylo for over an hour discussing the issue of physician retention challenges.
- Upcoming meetings include Health Board, Regional District Board, and physician recruitment meeting in Kamloops.

### RCMP Policing Report – Q1

Moved by Councillor Baird, seconded by Councillor Case that the report be received and filed.  
Carried Unanimously

### Victims Assistance Activity Report – Q1

Moved by Councillor Case, seconded by Councillor Baird that the report be received and filed.  
Carried Unanimously

At the request of Council, staff will ask Victims Assistance if it would be possible to break down their statistics to be Enderby-specific.

### Fire Department Report – Memo from Chief Alstad dated April 28, 2014

In addition to the written report, Chief Alstad reported that Enderby's first fire engine is being restored and will be ready for the 2015 Canada Day Parade. Fundraising was done to finance the project. The works are being done in stages by the AL Fortune auto body school.

The Fire Department meets at the Fire Hall every Tuesday at 7:00 pm and the meetings are open to anyone wishing to attend.

### NEW BUSINESS



Public Information Meeting – Amending Land Use Designation and Zoning at 6314 Hwy 97A and 91 Crandlemire Rd

Moved by Councillor Case, seconded by Councillor Baird that the correspondence be received and filed.

Carried Unanimously

Clayton Castle – Wastewater Collection System Operator Level 1 Certification

Moved by Councillor Baird, seconded by Councillor Ludwig that the memorandum be received and filed.

Carried Unanimously

Enderby Lions Club – Correspondence dated April 30, 2014

Re: Request to hold Beer Garden at Gazebo June 27 – June 30

Moved by Councillor Case, seconded by Councillor Ludwig that permission be granted to the Enderby and District Lions Club to hold a beer garden at Riverside Park at the following dates and times:

June 27	5:00 pm – 1:00 am
June 28	11:00 am – 1:00 am
June 29	11:00 am – 1:00 am
June 30	11:00 am – 7:00 pm

Carried Unanimously

Response to Chamber of Commerce letter dated April 2, 2014 – Memo from Assistant Corporate Officer and Planning Assistant

Re: Bed and Breakfasts within Additional Residential Zones

Moved by Councillor McCune, seconded by Councillor Case that Staff be directed to send a letter to the Chamber of Commerce advising that the City will consider the use of Bed and Breakfasts within additional residential zones as part of its forthcoming Zoning Bylaw review; and

THAT Council direct Staff to advise the Chamber of Commerce that in advance of the planned review its member may apply for a Rezoning or Zoning Bylaw Text Amendment, and that the Chamber may wish to champion this matter by making an application for a Zoning Bylaw Text Amendment on its own initiative.

Carried Unanimously

Upgrades to Mill Avenue Borrowing – AAP Process – Memo from Chief Financial Officer dated May 1, 2014

Moved by Councillor Ludwig, seconded by Councillor Baird that Council initiate the Alternate Approval Process; and

THAT Council determines the total number of electors to which the approval process applies to be 239; and

THAT the report respecting the basis on which the total number of electors has been determined be made available to the public; and



THAT Council approves the elector response form attached to the memorandum from the Chief Financial Officer dated May 1, 2014; and

THAT notice of the alternate approval process be published in the May 14<sup>th</sup> and May 21<sup>st</sup>, 2014 editions of the Okanagan Advertiser newspaper; and

THAT Council establishes the deadline for elector responses in relation to the approval process as 4:30 p.m. on Monday, June 23, 2014.

Carried Unanimously

Shuswap River Watershed Sustainability Plan – Memo from Chief Administrative Officer dated May 1, 2014

Moved by Councillor Bard, seconded by Councillor Ludwig that is supportive of the Shuswap River Watershed Sustainability Plan and is interested in exploring partnership opportunities.

Carried Unanimously

Metered Water Rates – 2014 Update – Memo from Chief Financial Officer dated May 1, 2014

Moved by Councillor McCune, seconded by Councillor Baird that Council approve the mock water meter rated as presented on Schedule "A" of the memorandum from the Chief Financial Officer dated May 1, 2014.

Carried Unanimously

### PUBLIC QUESTION PERIOD

*Gerry Marshall* asked Mayor Cyr to expand on his meeting with MLA Kylo regarding physicians. Mayor Cyr explained that government policies are hindering retention of doctors. The MLA will pursue our concerns with the Ministry.

*Sherry Vetter* asked what "dis-incentives" Mayor Cyr referred to. Mayor Cyr briefly explained that the policy of having to live in the community means not being able to take advantage of the locum program and having no financial assistance with additional education programs.

*Stacy Pavlov of the Advertiser* queried whether the remediation of Little City Fashions would be impacted by the June court date. The Chief Administrative Officer stated that action will go forward regardless of the trial date.

### CLOSED MEETING RESOLUTION

Moved by Councillor Baird, seconded by Councillor Knust that, pursuant to Section 92 of the *Community Charter*, the regular meeting convene In-Camera to deal with matters deemed closed to the public in accordance with Section 90 (1) (d) of the *Community Charter*.

Carried Unanimously

### ADJOURNMENT

The Regular Meeting reconvened at 6:15 p.m.

Moved by Councillor McCune, seconded by Councillor Knust that the Regular Meeting adjourn at 6:15 pm.

Carried Unanimously

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CHIEF ADMINISTRATIVE OFFICER

Agenda

**CITY OF ENDERBY  
DEVELOPMENT PERMIT APPLICATION**

File No: 002-14-DP-END

May 12, 2014

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**APPLICANT:** Vanko Services Ltd.  
**LEGAL DESCRIPTION:** Lot 1, District Lot 226, Osoyoos Division Yale District, Plan KAP75600  
**PID #:** 025-945-203  
**LOCATION:** 601 Bass Avenue, Enderby BC V0E 1V2  
**PROPERTY SIZE:** 0.795 hectares  
**ZONING:** Industrial Park (I.3)  
**O.C.P DESIGNATION:** Industrial Park  
**PROPOSAL:** To raise the roof and remove lean-tos associated with an existing manufacturing building

**RECOMMENDATIONS:**

THAT Council authorize the issuance of a Development Variance Permit for the property legally described as Lot 1, District Lot 226, Osoyoos Division Yale District, Plan KAP75600 and located at 601 Bass Avenue, Enderby B.C. to permit a variance to the following Section of the City of Enderby Zoning Bylaw No. 966, 1987:

- 403.2.a by leaving the northern portion of the property, which is not used for buildings, display, parking, or access driveways, free of landscaping as shown on the attached site plan.

AND THAT Council authorize the issuance of a Development Permit for the property legally described as Lot 1, District Lot 226, Osoyoos Division Yale District, Plan KAP75600 and located at 601 Bass Avenue, Enderby B.C. subject to the following conditions:

- a) The City of Enderby receives confirmation that the applicant has successfully purchased the subject property;
- b) The dimensions and siting of the buildings, structures, parking spaces, loading spaces be in general accordance with the attached site plan;
- c) The exterior design and finish of the addition to the manufacturing building be consistent with the remainder of the building and be in general accordance with the attached building elevations;



- d) Landscaping shall be in accordance with Section 403.2 of the Zoning Bylaw and shall be in general accordance with the Landscape Plan to be submitted to the City of Enderby;
- e) Screening shall be in accordance with Section 403.1 of the Zoning Bylaw;
- f) Parking shall be in accordance with Section 1001 of the Zoning Bylaw;
- g) The paving of the parking areas and access driveway shall be in accordance with Section 1001.2.e of the Zoning Bylaw;
- h) Off-street loading areas must be provided and maintained in accordance with Section 1101 of Zoning Bylaw; and
- i) Proposed drainage works shall be to the satisfaction of the City of Enderby Public Works manager.

AND THAT the issuance of a Building Permit be withheld until:

- a) The applicant has provided the City of Enderby with a Landscape Plan demonstrating how the proposed development satisfies all landscaping requirements outlined in Section 403.2 of the City of Enderby Zoning Bylaw No. 966, 1987;
- b) The City has received confirmation that the shed located in the northeast corner of the subject property, as shown on the attached site plan, has been either removed or relocated to conform with the provisions of the Zoning Bylaw; and
- c) The applicant has provided the City with an irrevocable letter of credit, or a cash deposit, in the amount equal to 120% of the estimated cost of any landscaping that may be required to bring the proposal into conformity with Section 403.2 of the Zoning Bylaw. The estimates must be prepared by qualified landscaping contractor.

**BACKGROUND:**

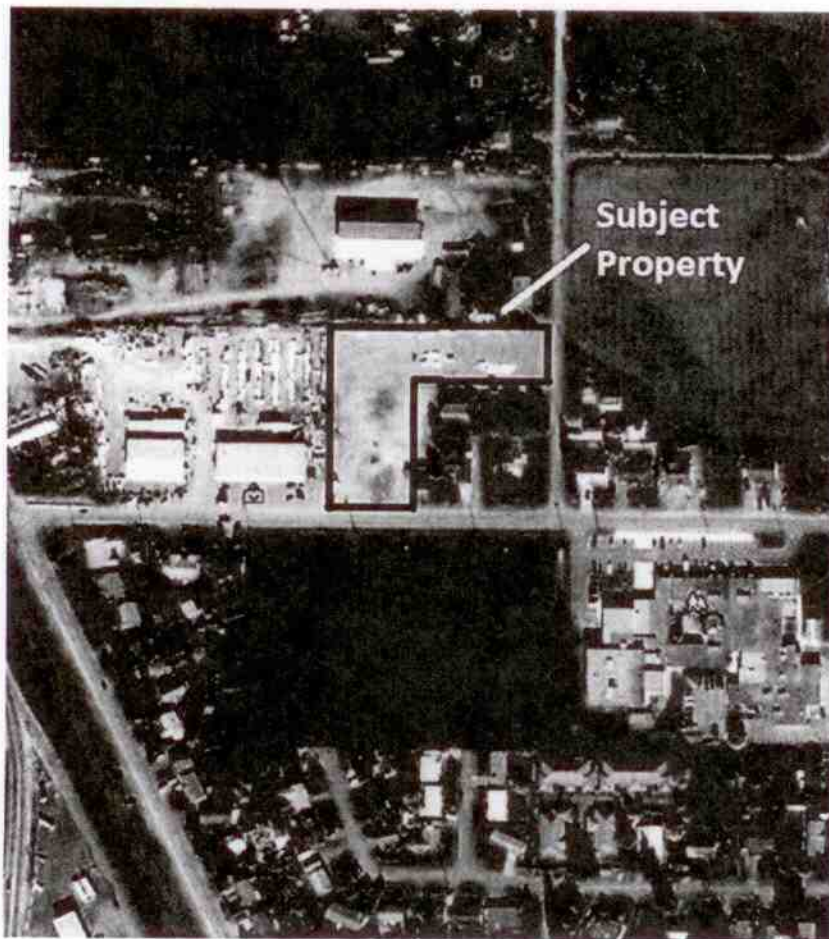
This report relates to an application for a Development Permit, with variances, for the property located at 601 Bass Avenue. The applicant is proposing to raise the roof and remove lean-tos associated with an existing manufacturing building on the property; the applicant proposes to continue to use the building for manufacturing purposes (welding and fabrication). The property is zoned Industrial Park (I.3) which permits the proposed manufacturing use. The property is also designated as a Development Permit Area in the Official Community Plan (OCP) related to Brickyard Road Industrial Park - Form and Character, Protection of Development from Hazardous Conditions, and Protection of the Natural Environment. A Development Permit is therefore required to be issued by Council, prior to the issuance of a Building Permit for the proposed development.

Site Context

The subject property is located along the north side of Bass Avenue, between Brickyard Road and McGowan Street. The subject property is a 'dog-leg' shaped lot and although not a corner lot, it has frontage and access off both Bass Avenue and McGowan Street. The lot is generally flat and is located within the Shuswap River Floodplain.

In January of 2008, the 2006 Development Permit was ultimately issued and it included variances to reduce the required front yard and special building line setback distances from 9 m (29.53 feet) to 7.86 m (25.79 feet) and 21 m (68.90 feet) to 19.25 m (63.16 feet), thus bringing the building into conformity with the Zoning Bylaw; these reduced setback distances were in accordance with the most recent location that the office building had been relocated to. The Development Permit contained conditions related to screening, parking, paving, off-street loading, and the siting, form, and character of the dry storage building. The City of Enderby received an irrevocable letter of credit equal to 1.5 times the estimated cost of landscaping and paving of the property. Ultimately, the business associated with the subject property went bankrupt and the City of Enderby released the letter of credit without all of the required works being completed.

The following orthophoto of the subject and surrounding properties was taken in 2004:



#### The Proposal

The applicant is proposing to raise the roof and remove lean-tos associated with an existing manufacturing building located on the property. The applicant is proposing to continue using the aforementioned building for manufacturing purposes related to welding and fabrication. The applicant has indicated that he will be removing an existing shed located in the northeast corner of the subject property which falls within the required exterior side yard setback area.



There are 4 existing buildings on the property:

- A manufacturing building in the southwest corner of the property;
- An office building in the southeast corner of the property;
- A dry storage building in the southeast corner of the property, north of the office building; and
- A shed in the northeast corner of the property.

The southern portion of the property near the existing buildings is paved while the northern portion of the property remains at a gravel standard, free of paving and landscaping.

The subject property and the properties to the west, north, and east (fronting Bass Avenue) are zoned Industrial Park (I.3) and designated in the Official Community Plan (OCP) as Industrial Park. The properties to the east (fronting McGowan Street) are zoned Country Residential (C.R) and are designated in the OCP as Residential Low Density. The property to the south is AL Fortune Secondary School which is zoned Assembly, Civic, & Public Service (S.1) and is designated in the OCP as School Site. The fronting roadway, Bass Avenue, is designated in the OCP as a Major Road.

#### Site History

A Development Permit, with variances, was issued for the subject property in 2004 which facilitated the construction of a 76' x 120' manufacturing building and the siting of a 24' x 48' school district portable to be used as an office. The variances approved through the Development Permit reduced the required landscape buffers along Bass Avenue and McGowan Street from 9 m (29.53 feet) to 3 m (9.84 feet) and 2 m (6.56 feet) respectively. The Permit set out several conditions related to screening, parking, paving, signage, and the siting, form, and character of the manufacturing and office buildings. Council resolved to provide the applicant with 3 years to remove or relocate the office building which was sited on the property, without authorization through a Building Permit or Development Permit, in a location which was in contravention of the Zoning Bylaw.

On May 15th 2006, Council reviewed an additional Development Permit application for the subject property, with variances, which related to the construction of a 204 m<sup>2</sup> (2,194 square feet) dry storage building and 18 off-street parking stalls. The requested variances proposed to reduce the front yard and special building line setbacks for the office building. Council resolved that prior to giving the application further consideration, the applicant be required to submit a revised site plan which showed the proposed future location of the office building and the shed currently located on the property, both of which were in contravention of the setback requirements of the Zoning Bylaw.

In December of the same year, a Development Variance Permit application was submitted for the subject property which proposed to reduce the side yard setbacks for a proposed dry storage building, existing office building, and existing shed from 6 m (19.68 feet) to 3 m (9.84 feet), 2.84 m (9.32 feet), 3.34 m (10.96 feet) respectively. The Permit was issued which in turn resolved all setback issues on the site, save for the front yard and special building line setbacks for the office building for which the applicant was applying for variances through the Development Permit application.



It is proposed that access will continue to be gained primarily off of Bass Avenue while the McGowan Street access will be retained for emergency access only. The applicant is proposing to install 4 right-angle parking stalls along the western property boundary, south of the existing manufacturing building. A paved 8 m wide driveway/maneuvering aisle will provide access to the parking area while also providing access to the off-street loading spaces to the north of the existing manufacturing building. An outside storage area is proposed for the northern portion of the property. This portion of the property currently exists in a gravel standard, free of paving and landscaping, and the applicant is proposing to retain this existing standard as it is better suited to the storage needs of the development; this will require a variance as the Zoning Bylaw requires that any areas not used for buildings, display, parking, or access driveways shall be suitably landscaped. The applicant is proposing to screen the entire perimeter of the property with hedging, except for the portion of the property fronting Bass Avenue. Existing landscape buffers are currently located along the front lot line, fronting Bass Avenue, and exterior side lot line, fronting McGowan Street, with widths of 3 m and 2 m respectively.

The applicant has indicated that the proposed development would benefit the City of Enderby by stimulating the community through new development, bringing a service to the community, and providing 4 new employment opportunities

**ZONING BYLAW:**

The subject property is zoned Industrial Park (I.3). Uses permitted in the I.3 zone include accessory buildings and structures, accommodation, assembly and civic use, food service, limited agricultural, public service use, retail sales, service and repair, and manufacturing, processing, and storage. The proposal as compared to the I.3 zone requirements are as follows:

CRITERIA	PROPOSAL	ZONE REQUIREMENTS
Building Height (max.)	10.4 m (34 feet)	12 m (39.37 feet)
Lot Area (min.)	7,950 m <sup>2</sup> (85,573 square feet)	1,350 m <sup>2</sup> (14,532 square feet)
Lot Coverage (max.)	~15%	60%
Parking Stalls (min.)	4	4
Loading Zones (min.)	2	2
Setbacks (min.)		
- Manufacturing Building		
- Front Yard	> 15 m (49.21 feet)	9 m (29.53 feet)
- Exterior Side Yard	N/A	6 m (19.68 feet)
- Interior Side Yard	6.050 m (19.85 feet)	6 m (19.68 feet)
- Rear Yard	> 9 m (29.53 feet)	9 m (29.53 feet)
- Office Building		
- Front Yard	7.86 m (25.79 feet)	9 m (29.53 feet)
- Exterior Side Yard	N/A	6 m (19.68 feet)
- Interior Side Yard	2.84 m (9.32 feet)	6 m (19.68 feet)
- Rear Yard	> 9 m (29.53 feet)	9 m (29.53 feet)
- Dry Storage Building		
- Front Yard	> 9 m (29.53 feet)	9 m (29.53 feet)

- Exterior Side Yard	N/A	6 m (19.68 feet)
- Interior Side Yard	3 m (9.84 feet)	6 m (19.68 feet)
- Rear Yard	> 9 m (29.53 feet)	9 m (29.53 feet)
- Shed		
- Front Yard	> 9 m (29.53 feet)	9 m (29.53 feet)
- Exterior Side Yard	< 6 m (19.68 feet)	6 m (19.68 feet)
- Interior Side Yard	N/A	6 m (19.68 feet)
- Rear Yard	> 9 m (29.53 feet)	9 m (29.53 feet)

### Parking and Loading Requirements

Section 1001 - Off-street Parking of the Zoning Bylaw requires that for a manufacturing use, 1 parking stall be provided for every 2 employees counted as a total of 2 shifts. The applicant has advised that there will be a total of 4 employees associated with the proposed manufacturing use, therefore 2 shifts would be a total of 8 employees and the total number of required parking stalls would be 4. The proposal includes 4 parking stalls and therefore satisfies the parking requirements.

All parking spaces must have a clear length of not less than 6 m (19.68 feet) and a clear width of not less than 2.8 m (9.186 feet). A total of 40% of the required parking stalls may be made up of small car parking and have a clear length of not less than 5.2 m (17.06 feet) and a clear width of not less than 2.3 m (7.546 feet). Driveways adjacent to right angle parking must be no less than 8 m (26.25 feet) wide. The Bylaw requires that all parking areas be paved and curbed. The proposal meets all of the aforementioned requirements related to off-street parking size, access, and surfacing.

Section 1101 Off-street Loading requires that 2 off-street loading spaces be provided for every site used as a retail store, business industry, warehouse, or other similar use when the total gross floor area of buildings is between 450 m<sup>2</sup> (4,844 square feet) and 2,300 m<sup>2</sup> (24,756 square feet). Off-street loading and unloading spaces shall be of adequate size and with adequate access to accommodate the types of vehicles which will be loading and unloading, but in no case shall be insufficient to accommodate a vehicle 9 m (29.53 feet) in length and 2.4 m (7.874 feet) in width. The Bylaw requires that all off-street loading spaces be paved and curbed. The proposal meets all of the aforementioned requirements related to the number, size, and surfacing of off-street loading spaces.

### Screening

Section 403.1 of the Zoning Bylaw requires that landscape screening consisting of a solid 2.5 m (8.202 feet) fence or wall, which shall be uniformly painted and well maintained and not used for advertising or display purposes or for the posting of notices, or a compact evergreen hedge not less than 2 m (6.562) in height, which shall be maintained in good condition at all times, shall be provided in commercial and industrial zones where any part of a lot used or intended to be used as an outside storage area. In these cases, the storage area shall be closed by screening on any side not facing directly upon the principal building on the lot, and no material shall be piled to extend above such screening. The proposed outside storage area of the subject property requires screening on all sides of the property except for the front lot line fronting Bass Avenue as the outside storage area faces directly upon the principal building. The



applicant is proposing to plant cedar hedging along the entire perimeter of the property, except for the front lot line adjacent to Bass Avenue, thus the proposal meets all of the aforementioned requirements related to screening for industrial properties with an outside storage area.

### Landscaping

Section 403.2 of the Zoning Bylaw requires that where any commercial or industrial development abuts a controlled access highway, a landscaped buffer area shall be provided with a minimum width of 2 m (6.562 feet), or where any commercial or industrial development abuts any other highway, a landscaped buffer area shall be provided equal to the required front or exterior side yard requirement which in this case is 2 m (6.56 feet) and 3 m (9.84 feet) respectively. The attached site plan does indicate that there are existing landscape buffer areas along Bass Avenue and McGowan Street which are consistent with the aforementioned requirements. Furthermore, the remainder of the property not used for buildings, display, parking, or access driveways shall be suitably landscaped which consists of the following:

- i. A grass to shrubbery ratio from 6:4 to 8:2;
- ii. A minimum of five percent (5%) of the landscaped area to be planted in trees using the canopy area of the trees as a measure of the number and size of trees required;
- iii. A maximum of fifteen percent (15%) of the area shall be planted to annuals; and
- iv. Other accepted landscape materials may be utilized under the supervision of a competent landscape contractor or landscape architect.

The applicant is proposing to leave the storage area in the northern portion of the property free of landscaping, which would require a variance as the Zoning Bylaw requires that all areas of the property not used for buildings, display, parking, or access driveways shall be suitably landscaped. The applicant has not provided a landscape plan indicating how their proposed development meets the landscaping requirements of the Zoning Bylaw. It is recommended that prior to the issuance of a Building Permit, the applicant provide the City of Enderby with a Landscape Plan demonstrating that their proposal meets all of the requirements of Section 403.2 of the Zoning Bylaw.

### **OFFICIAL COMMUNITY PLAN:**

The subject property is designated in the Official Community Plan (OCP) as Industrial Park. The Social Development Policies of the OCP state that Council recognizes that development of land has social impacts and will act through the approval process to minimize negative and maximize positive impacts.

### Brickyard Road Industrial Development Permit Area

The OCP states that all lands designated as Industrial Park and shown on Schedule "B" are designated as a Development Permit Area for protection of development from hazardous conditions, for protection of the natural environment, and for the form and character of development. All new development, including alterations or additions, require a Development Permit prior to the issuance of a Building Permit. Upon reviewing the Development Permit application, the OCP states that Council will consider the following guidelines:



Protection of the Natural Environment:

- i. *The area within 15 metres of the natural boundary of the Shuswap River should remain free of development except for fencing, trails, walkways and works or plantings to control erosion, protect banks, protect fisheries or otherwise preserve and enhance the natural water course;*
- ii. *all development shall be connected to City water, sewer and storm water drainage systems. On site storm water management plans may also be required for parcels with large areas (above 3000 m<sup>2</sup>) of impervious surfaces (roof, parking areas).*
- iii. *impervious catch basins shall be required for all areas where chemical and fuel storage uses are proposed;*
- iv. *the provisions of the Shuswap River Development Permit Area shall also apply to lands within 30 metres of the natural boundary of the Shuswap River apply;*

Protection of Development from Hazardous conditions:

- v. *No buildings or foundations for buildings should be built within any area below the normal High Water Mark of the Shuswap River;*
- vi. *all development shall be in accordance with the Floodplain requirements of the Provincial Government;*
- vii. *the City of Enderby Council may require a Restrictive Covenant for development within the Floodplain to protect the City against claims for possible flood damage;*

Form and Character of Industrial Development:

- viii. *Vehicle parking should be encouraged at the rear or side of the building and should be in smaller clusters and screened from view with landscaping or natural vegetation while still maintaining site distances for safe access and egress;*
- ix. *low profile signage which employs natural materials such as wood, red brick and stone and is located in landscaped planter areas will be encouraged;*
- x. *exterior design and finish should incorporate products which compliment the natural setting and adjacent land uses;*

- xi. all areas including boulevards not utilized for buildings, storage, parking or access shall be adequately landscaped to provide an attractive buffer;*
- xii. portions of the building(s) visible from the Highway shall contain architectural relief in the form of design features addressing varying roof lines, glazing, entrances, business specific signage, exterior finishes, etc.;*
- xiii. the provision of amenities for employees, such as indoor and outdoor lunch areas, bicycle racks, greenspace and skylights/windows in work areas are encouraged.*

**REFERRAL COMMENTS:**

The application was referred for comment to the City of Enderby Public Works Manager, Building Inspector, Fire Chief, and the Ministry of Transportation and Infrastructure.

The Ministry of Transportation and Infrastructure stated that as the proposed development is under 4,500 m<sup>2</sup>, the Ministry's approval is not required under Sec 924(2) of the Local Government Act and therefore they have no comment.

No other comments were received in response to the referral.

**DISCUSSION:**

Variance - Landscaping

The applicant is proposing to vary Section 403.2.a of the City of Enderby Zoning Bylaw No. 966, 1987 which requires the remainder of a property that is not used for buildings, display, parking, or access driveways to be suitably landscaped. The applicant is proposing to leave the northern portion of the subject property, which is to be used as an outside storage area, in its existing gravel standard and free of landscaping. The applicant notes that leaving this portion of the property free of landscaping is more conducive to the storage needs of the proposed manufacturing use.

It is recommended that this variance request be supported for the following reasons:

- The outside storage area is not highly visible from Bass Avenue, and only marginally visible from McGowan Street;
- The perimeter of the site, except for the front property line adjacent to Bass Avenue, is proposed to be screened via cedar hedging;
- A gravel standard is better suited to storage needs of the proposed development; and
- It is not anticipated that the proposed variance will negatively impact the use and enjoyment of the subject or neighbouring properties.



Brickyard Road Industrial Development Permit Area

The Brickyard Road Industrial Park Development Permit Area is designated to establish the objectives and guidelines for the form and character of industrial development within the general area east of Brickyard Road, north of Bass Avenue, and west of McGowan Street. Development in this area is encouraged to project an appropriate visual image to Highway 97A, minimize the risk from natural hazards such as flooding, and ensure that materials detrimental to water quality do not become deposited into the ground and ultimately the Shuswap River.

The proposed development is generally consistent with the Brickyard Road Industrial Development Permit Area Guidelines. In this regard, it is noted that Council has already issued a Development Permit supporting the form, character, and siting of the manufacturing building, office building, and dry storage building. It should also be noted that the placement of buildings, vehicle parking areas, and driveway access provides for safe and convenient movement within the site. Furthermore, the buildings, vehicle parking areas, and outside storage areas would be largely screened from view via cedar hedging while the existing landscaping buffers provide a suitable buffer between the roadway and the subject property.

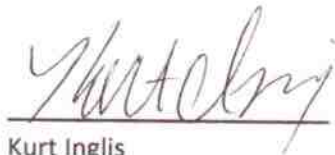
For these reasons, it recommended that a Development Permit be issued.

**SUMMARY:**

This is an application for a Development Permit, with variances, to facilitate the raising of the roof and removing lean-tos associated with a manufacturing building located at 601 Bass Avenue. It is recommended that a Development Permit be approved as the development meets the requirements of the Brickyard Road Industrial Development Permit Guidelines. It is also recommended that upon consideration of adjacent land owner's comments, Council approve the variance requests as the proposal will not negatively affect the use and enjoyment of the subject or neighbouring properties while the proposed screening will mitigate any potential visual impacts.

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**Prepared By:**



Kurt Inglis  
Assistant Corporate Officer and Planning Assistant

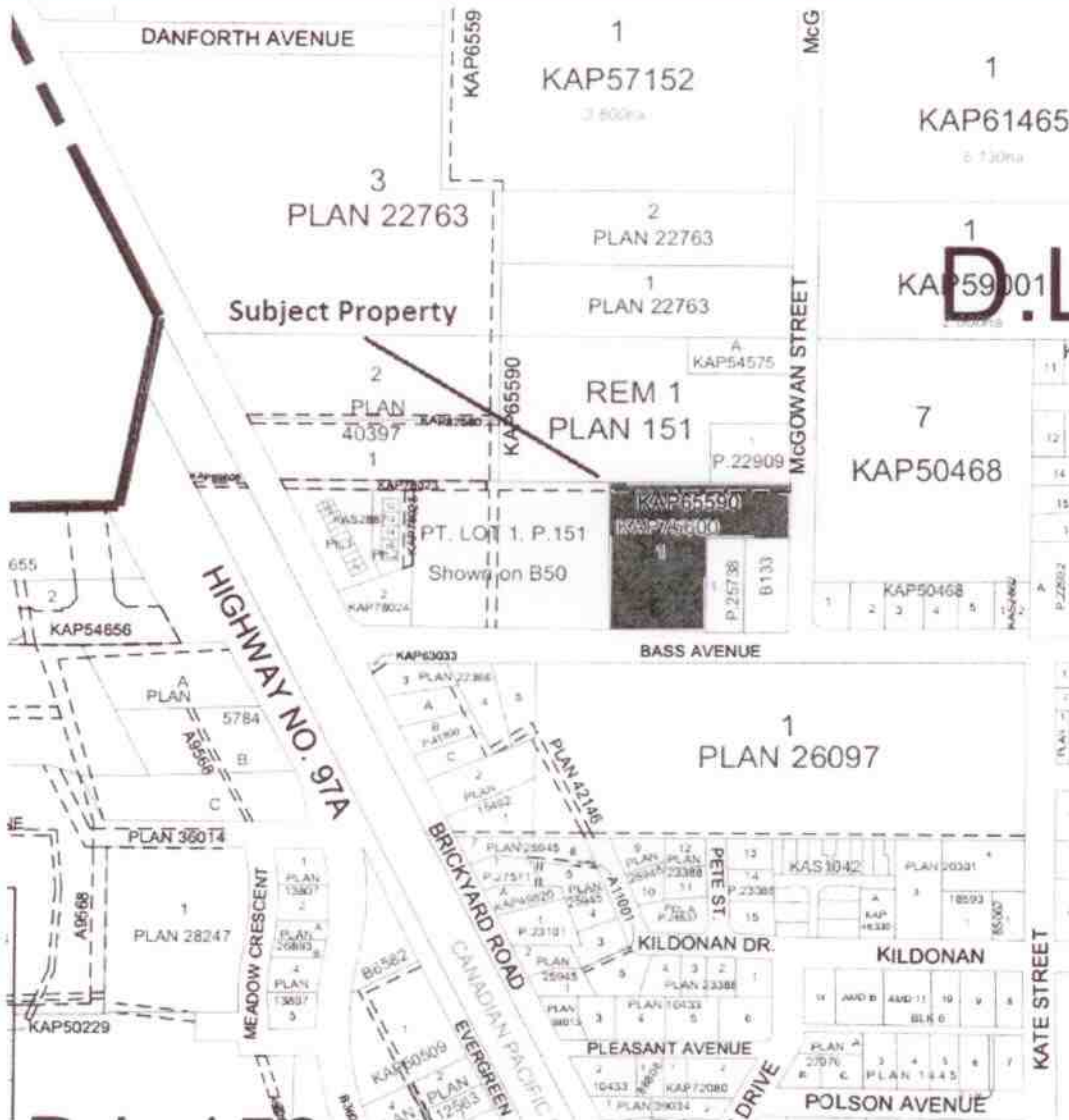
**Reviewed By:**



Tate Bengtson  
Chief Administrative Officer

**THE CORPORATION OF THE CITY OF ENDERBY**  
**DEVELOPMENT PERMIT APPLICATION**  
**SUBJECT PROPERTY MAP**

**File:** 0002-14-DP-END  
**Applicant:** Vanko Services Ltd.  
**Location:** 601 Bass Avenue, Enderby, BC





**Vanko Services Ltd.  
Jesse Vander Kooi  
Property Development Plan Proposal  
601 Bass Avenue, Enderby**

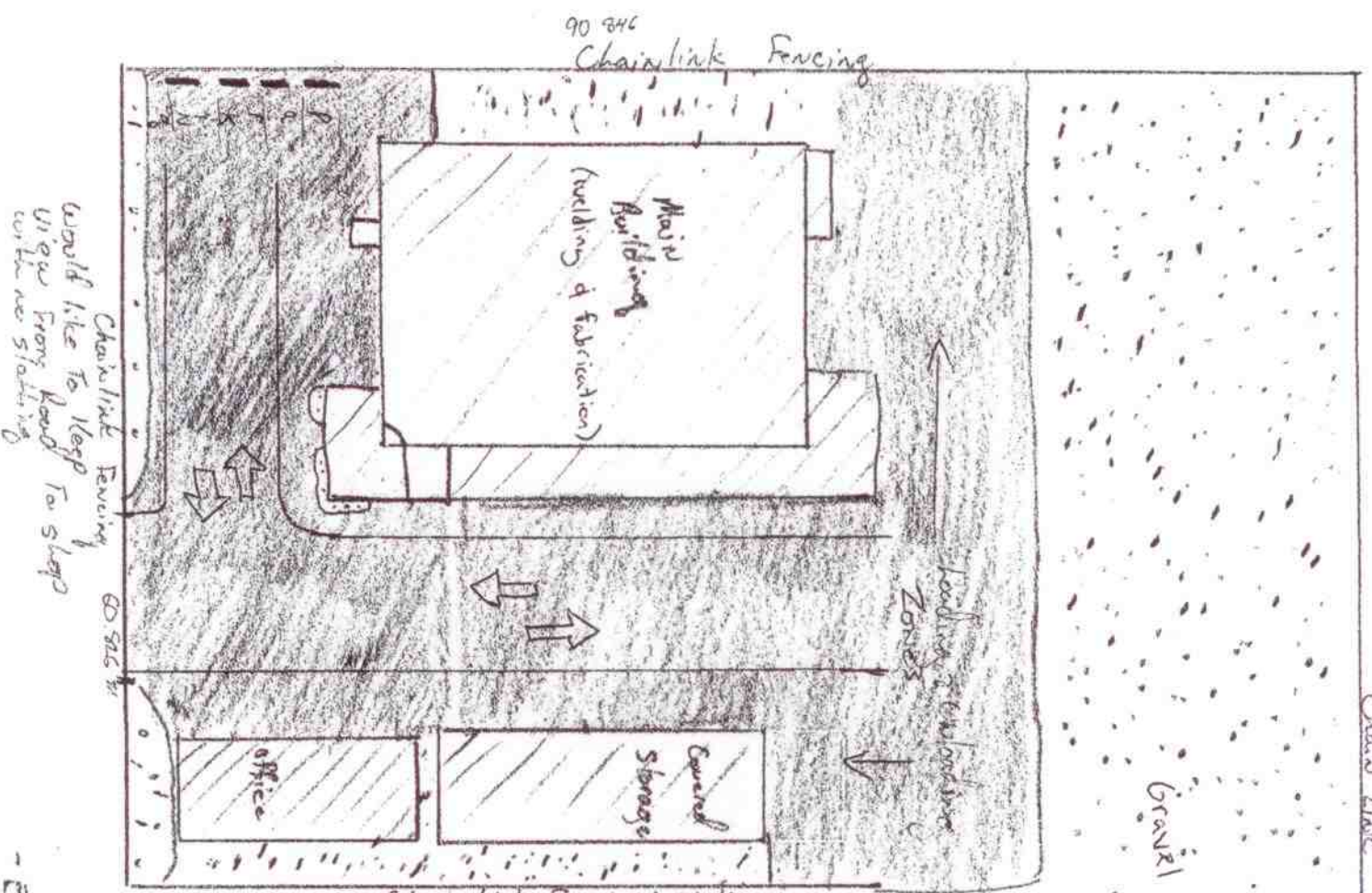
*Proposed changes to and explanations of property according to O.C.P Permit Guidelines  
Please see site plan attached*

- 1) Removal of lean-tos off of main building excluding office
- 2) Raise main shop roof 4feet  
Replace soffeting with existing materials, and cover the west-side with matching coloured tin.
- 3) Gravel lot in back to remain gravel for storage of steel and trailer holding area
- 4) Landscaping at front of property (Bass Avenue) already in place. Plans to clean up gardens to accentuate already developed gardens.
- 5) Plant Cedar Hedging along all exterior chain-link fences except fencing on Bass Avenue.  
Cedar Shrubs from Swan Lake Nursery (Vernon)  
Emerald Green Cedars \$4.99  
1150 feet; shrubs planted 3feet apart = 380 shrubs  
Cost: \$1900.00
- 6) Create parking stalls (see west side of site plan)  
  
4 concrete parking curbs  
Cost: \$180.00
- 7) Building facia colour to remain the same.

Jesse Vander Kooi  
Vanko Services Limited

Monday, May 5<sup>th</sup>, 2014

JJ



Chainlink Fencing / Slatting

Grand Storage Area

Chainlink Fencing / Slatting  
60.302m

Chainlink Fencing / Slatting  
56.398m

Chainlink Fencing  
30.423m

Access off Melbourne will remain for emergency access only  
2m  
N

Notes

- ① All parking stalls are 2.8 m x 1 m
- ② All maneuvering aisles are 8 m wide.
- ③ Screening will consist of compact evergreen hedging, at least 2 m in height, around the perimeter of the parcel except for the front property line fronting Bass Avenue
- ④ setbacks for Dry Storage Building are as follows:
  - Interior side yard = 3 m (DNR in place)
  - Front yard = > 9 m
  - Rear yard = > 9 m
- ⑤ setbacks for office building are as follows:
  - Interior side yard = 2.54 m (DNR in place)
  - Front yard = 7.86 m (DNR in place)
  - Rear yard = > 9 m

parking stalls

landscaped

building

paved

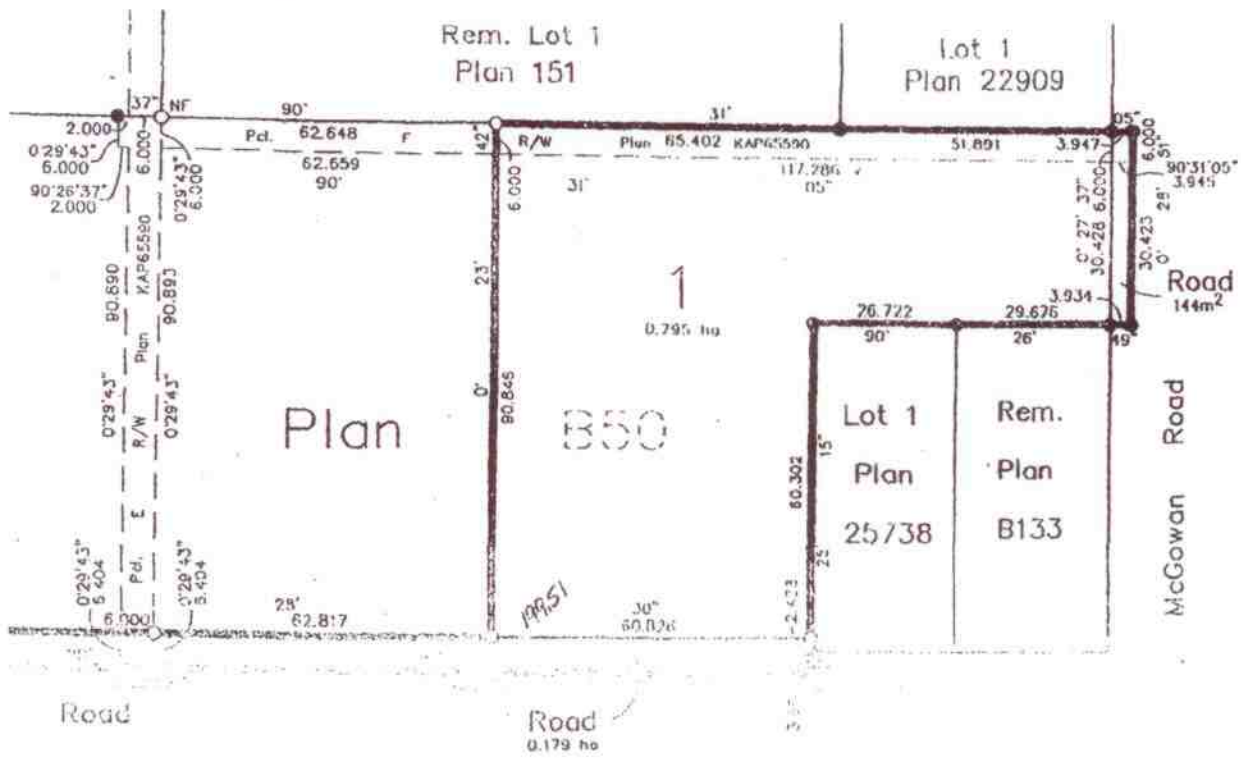
asphalt



055  
100

The City of Ontario is not responsible for any errors or omissions, and this plan is not to be considered as a legal plan in connection with a survey made to date.

L. 226



David Brian Danielt  
David Brian Danielt

1/2  
Lynn McGill  
MAY PUBLIC  
404 G. BORDEN ST.

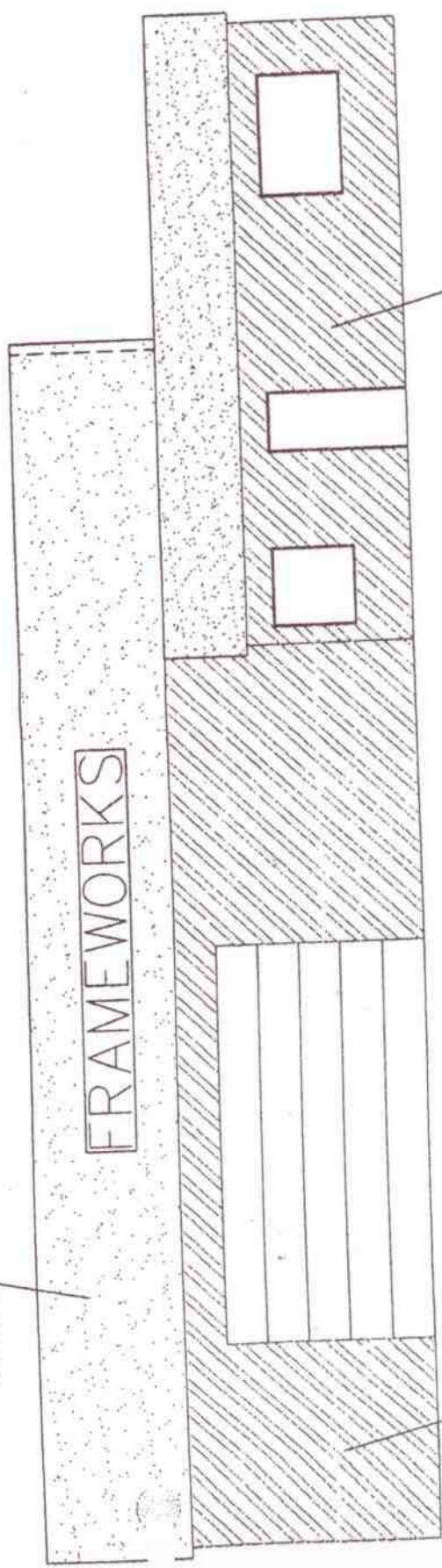
The registered owners designated hereon hereby declare that they have entered into a covenant in favour of the Crown in right of the Province of British Columbia as represented by the Minister of Water Land and Air Protection and the Minister of Enderby under Section 219 of the Land Act.





Stucco Band

FRAMEWORKS



Painted Metal Clad Exterior  
 2x8 Studs  
 Insulation  
 1/2" Wall Sheathing

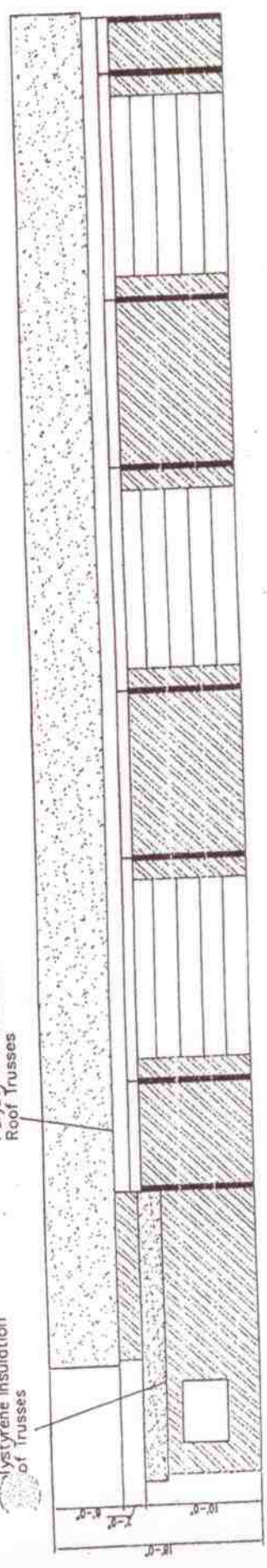
Painted Metal Clad Exterior  
 2x6 Studs  
 Insulation  
 Vynal Drywall

SOUTH ELEVATION  
 NTS

11/08/04

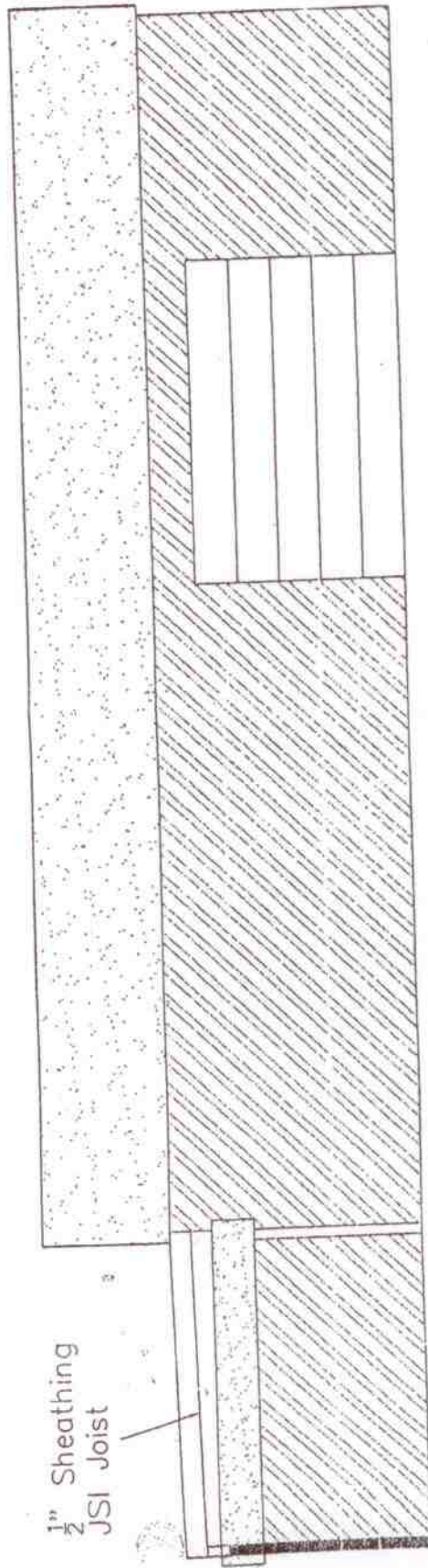
Torch On  
5/8" Roof Sheathing  
Polystyrene Insulation  
Roof Trusses

Torch On  
5/8" Roof Sheathing  
Polystyrene Insulation  
of Trusses



EAST ELEVATION  
MTS  
11/08/04

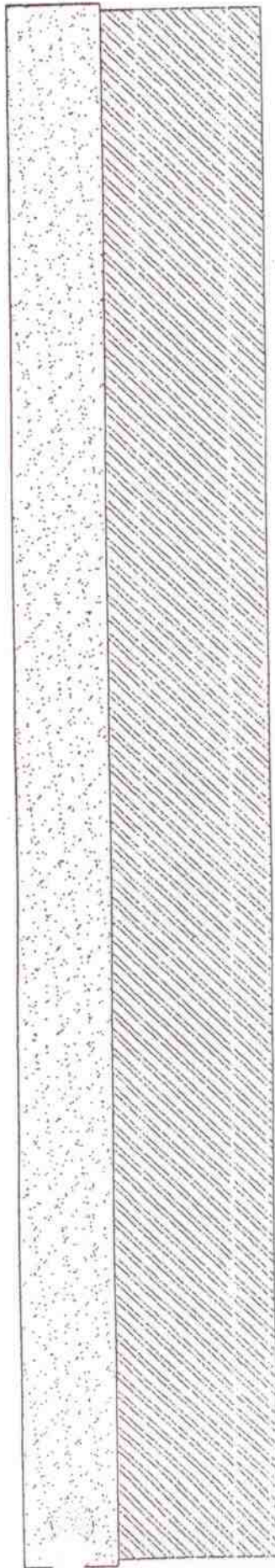




NORTH ELEVATION

11/08/04

NTS

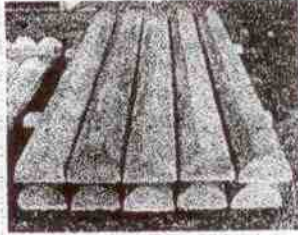


WEST ELEVATION  
NTS 11/09/04



**Parking Curb, with 2 holes for securing pins**

Weight: 250+ Lbs  
 (Reinforced with 10mm rebar)  
 PCI-0016



A - 7'0"L x 5"H x 8"W at base  
 B - 7'0"L x 6"H x 10"W at base

\$40.00  
 \$44.00

Additional Option: Custom Lengths available

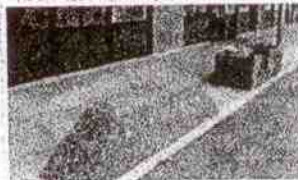
Call for Pricing

12" galvanized securing pins, each

\$1.00

**Monster Barrier Curb, Vehicle Bumper Guard - Exposed Aggregate Concrete**

7'0"L x 18"H x 18"W at base  
 Weight: 1800 Lbs  
 PCI-0016-G

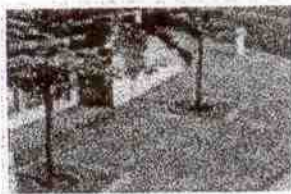


7'0"L x 18"H x 18"W at base plus sealed

\$258.00

**Tree Ring Grate, Unit = 2-pieces** – A classic choice for avenues, courtyards, plazas, parks, and other public places, our concrete tree grates protect trees, enable easy watering and drainage, and add a finishing touch to any outdoor site.

(Reinforced with 10mm rebar)  
 PCI-0026



Sandblast or Exposed Aggregate Finish  
 34.75" x 34.75" x 2"  
 250lbs  
 Inside Diameter 15.5"

\$306.00

Sandblast or Exposed Aggregate Finish  
 47.75" x 47.75" x 2"  
 400lbs  
 Inside Diameter 19.5"

\$402.00

**REQUEST A 'No Obligation' QUOTE FROM MACKAY PRECAST**



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**CITY OF ENDERBY  
DEVELOPMENT PERMIT APPLICATION**

File No: 003-14-DP-END

May 12, 2014

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**APPLICANT:** Shane Noble c/o Lynn Noble

**LEGAL DESCRIPTION:** Parcel A (being a consolidation of Lots 1, 2 and 3, see LB165752), Block 2, DL 150, Kamloops (formerly Osoyoos) Division Yale District, Plan 920

**PID #:** 027-393-038

**LOCATION:** 308 George Street, Enderby BC V0E 1V1

**PROPERTY SIZE:** 0.120 hectares

**ZONING:** Highway and Tourist Commercial (C.2)

**O.C.P DESIGNATION:** Highway and Tourist Commercial

**PROPOSAL:** To construct a two-storey commercial building with retail/office space on the first storey and a dwelling unit on the second storey, while retaining an existing residential triplex on site

**RECOMMENDATIONS:**

THAT Council authorize the issuance of a Development Variance Permit for the property legally described as Parcel A (being a consolidation of Lots 1, 2, and 3, see LB165752), Block 2, DL 150, Kamloops (formerly Osoyoos) Division Yale District, Plan 920 and located at 308 George Street, Enderby B.C. to permit variances to the following Sections of the City of Enderby Zoning Bylaw No. 966, 1987, as shown on the attached site plan:

- 502.2 by increasing the maximum number of principal buildings per lot from one (1) to two (2);
- 502.10.a by reducing the minimum exterior side yard setback from 4.5 m (14.76 feet) to 1.6 m (5.25 feet) for the commercial building;
- 502.10.c by reducing the minimum rear yard setback from 4.5 m (15.76 feet) to 1.3 m (4.27 feet) for the proposed commercial building and 1.6 m (5.25 feet) for the existing triplex;
- 502.10.d by reducing the minimum side yard setback from 3 m (9.84 feet) to 2.7 m (8.86 feet) for the existing triplex;
- 502.11.c.i by permitting the dwelling units associated with the triplex to be located beside the commercial building; and
- 502.11.c.iii by permitting the dwelling units to be located in a standalone building which is separate from the commercial use.

AND THAT Council authorize the issuance of a Development Permit for the property legally described as Parcel A (being a consolidation of Lots 1, 2, and 3, see LB165752), Block 2, DL 150, Kamloops (formerly Osoyoos) Division Yale District, Plan 920 and located at 308 George Street, Enderby B.C. subject to the following conditions:

- a) The dimensions and siting of the buildings, structures, parking spaces, loading spaces to be constructed on the land be in general accordance with the attached site plan and floor plan;
- b) The exterior design and finish of the building to be constructed on the land be in general accordance with the attached building elevations;
- c) Landscaping shall be in accordance with Section 403.2 of the Zoning Bylaw and shall be in general accordance with the attached landscape plan.
- d) Parking shall be in accordance with Section 1001 of the Zoning Bylaw;
- e) The paving of the parking areas and access driveway shall be in accordance with Section 1001.2.e of the Zoning Bylaw;
- f) Off-street loading areas must be provided and maintained in accordance with Section 1101 of Zoning Bylaw;
- g) The exterior of the residential triplex is painted to match the colour of the proposed commercial building; and
- h) Proposed drainage works shall be to the satisfaction of the City of Enderby Public Works manager.

AND THAT the issuance of a Building Permit be withheld until:

- a) The applicant has provided the City with an irrevocable letter of credit, or a cash deposit, in the amount equal to 120% of the estimated cost of landscaping and of curbing and paving the parking, loading, and driveway areas. The estimates must be prepared by qualified landscaping and paving contractors.

**BACKGROUND:**

This report relates to an application for a Development Permit for the property located at 308 George Street. The applicant is proposing to construct a two storey commercial building with retail/office space on the first storey and a residential dwelling unit on the second storey, while retaining an existing residential triplex on site. The property is zoned Highway & Tourist Commercial (C.2) which permits the proposed retail/office space and residential uses. The property is also designated as a Development Permit Area in the Official Community Plan (OCP) related to Commercial Development - Form and Character of Development. A Development Permit is therefore required to be issued by Council prior to the issuance of a Building Permit for the proposed development.



### Site Context

The subject property is located on the southwest corner of the intersection of 3rd Avenue and Highway 97A (George Street). A laneway runs from 2nd Avenue to 3rd Avenue adjacent to the western property line of the parcel. The parcel is largely flat with a slight elevation increase of approximately 2-3 meters along the western property line. An existing residential triplex building is located in the southwest corner of the property while a foundation structure and two steel modular containers are located in the northwest corner of the property. The subject property has two access points, one off of 3rd Avenue in the northeast corner of the property and one off of Highway 97A in the southeast corner of the property.

The subject property and the properties to the south and southeast (across Highway 97A) are zoned and designated in the OCP as Highway and Tourist Commercial (C.2). The property to the east, across Highway 97A, is Barnes Park which is zoned Assembly, Civic and Public Service (S.1) and designated in the OCP as existing park. The property to the north, across from 3rd Avenue, is the Enderby Community Health Centre administered by Interior Health which is zoned Assembly, Civic and Public Service (S.1) and designated in the OCP as Institutional. To the west, across the lane, are properties zoned Residential Single Family (R.1-A) and designated in the OCP as Residential Low Density. Highway 97A fronting the property is designated in the OCP as a Major Road.

### Site History

The subject property was created in 2008 when the interior lot lines between three lots were cancelled. The original three properties were created in 1911.

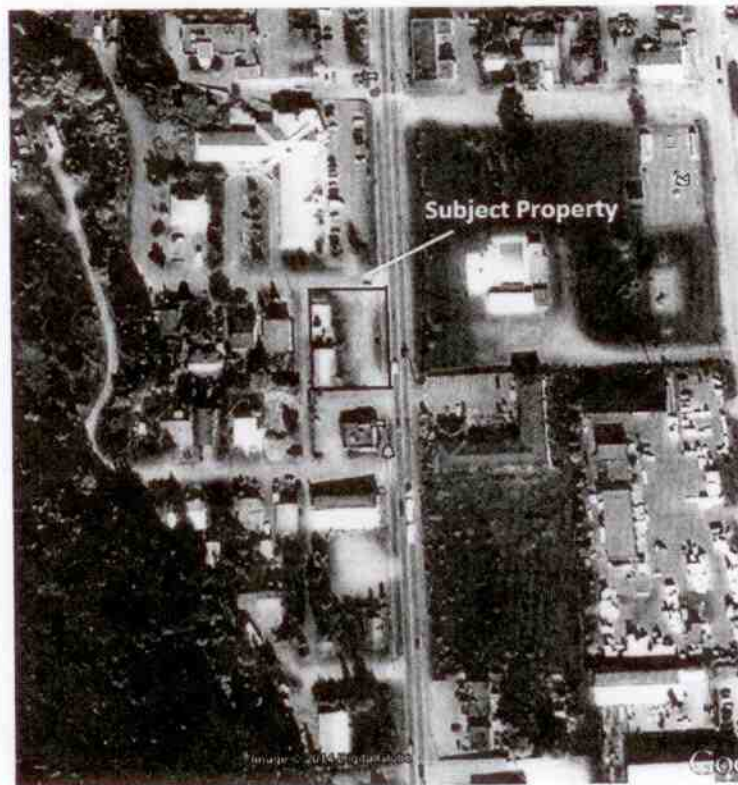
The property previously contained a store with an attached dwelling unit. In 1996, a Development Variance Permit was issued in order to facilitate relocating the dwelling to the northwest corner of the property with reduced exterior side and rear yard setbacks. A condition of the permit was that the dwelling be attached to the store. The foundation structure and a building were constructed under a 1997 Building Permit. The building was damaged by fire in 1998, leaving building deficiencies that resulted in a Bylaw Contravention Notice placed on title in 1999. Although the structure above the foundation was removed, the Building Permit lapsed and the subject foundation remains. The older store was also demolished. The existing triplex predates City records and the building does not appear to have been relocated over the years. The triplex is a permitted use within the Highway and Tourist Commercial (C.2) zone but it does not conform with several of the provisions for this zone including the requirement for dwelling units to be located within the same building as the commercial use and for the dwelling units to be located either entirely above and/or behind the commercial use, but being an integral part of these premises.

In 2011, a Development Variance Permit was issued to vary the interior side yard setback requirements as they related to a proposed subdivision which would have divided the subject property into two lots, one of which would contain the existing triplex and the other of which would contain the existing foundation structure. The applicants did not further pursue the subdivision of the property and the associated Development Variance Permit expired. Subsequently, the applicants applied for a Joint



Official Community Plan and Rezoning Application to rezone the property from Highway and Tourist Commercial (C.2) to General Commercial (C.1) in order to construct a commercial building while at the same time legalizing the existing triplex. The application was not supported by Council but the applicants subsequently met with Staff to discuss future changes to the City's Zoning Bylaw which may arise as a result of the City's Infill & Redevelopment Analysis. In the end, the City's Zoning Bylaw was amended to broaden residential uses within the General Commercial (C.1) and Highway Tourist Commercial (C.2) zones, as per recommendations from the City of Enderby Infill & Redevelopment Working Group, which in turn made the existing triplex a permitted use. Please note that the applicants will require several variances as part of the Development Permit in order for the existing triplex to conform with the provisions of the City's Zoning Bylaw.

The following orthophoto of the subject and surrounding properties was taken in 2004:



### The Proposal

As shown on the attached site plan and elevation drawings, the applicant is proposing to construct a two storey commercial building on the subject property while obtaining variances to legalize the existing residential triplex located on the site. The commercial building will have retail/office space on the first storey level with a dwelling unit located above on the second storey level.

It is proposed that access will continue to be gained via Highway 97A and 3rd Avenue, although the 3rd Avenue access is proposed to be relocated farther to the west in order to satisfy the City's Zoning Bylaw provisions. The applicant has received an Access Permit from the Ministry of Transportation and

Infrastructure to retain the existing access off of Highway 97A. The applicant is proposing to locate 8 angled parking stalls, 2 right angle parking stalls, 1 loading zone, and 1 handicap parking stall on the east side of the triplex and commercial buildings. The remaining 7 angled parking stalls will be located along the east property line, facing Highway 97A. A 6 m wide driveway/maneuvering aisle will provide vehicular access through the centre of the subject property, between the two parking areas, from the 3rd Avenue access through to the Highway 97A access.

The applicant has indicated that the proposed retail/office space will either be utilized by the applicant or leased out. The applicant has also indicated that the proposed development will benefit the City of Enderby through new commercial development while also significantly improving the aesthetics of the property.

**ZONING BYLAW:**

The subject property is zoned Highway and Tourist Commercial (C.2). Uses permitted in the C.2 zone include retail sales, office and commerce facilities/accommodations, and accommodation including apartments, dwelling units, hotels and motels. The proposal as compared to the C.2 zone requirements are as follows:

CRITERIA	PROPOSAL	ZONE REQUIREMENTS
Buildings Per Lot (max.)	2	1
Floor Area for Dwelling Units (min.)	<p>Triplex Bachelor Dwelling Unit = 32.8 m<sup>2</sup> (353.5 square feet)</p> <p>Triplex 1 Bedroom Dwelling Units = 40.2 m<sup>2</sup> (433.1 square feet)</p> <p>Commercial Dwelling Unit - 2 bedrooms = 118.6 m<sup>2</sup> (1277 square feet)</p>	<p>Bachelor Dwelling Unit = 27 m<sup>2</sup> (290 square feet)</p> <p>1 Bedroom Dwelling Unit = 40 m<sup>2</sup> (430.6 square feet)</p> <p>2 Bedroom Dwelling Unit = 45 m<sup>2</sup> (484.4 square feet)</p> <p>3 Bedroom Dwelling Unit = 55 m<sup>2</sup> (592.0 square feet)</p>
Building Height (max.)	~7.6 m (25 feet) - 2 storeys	Lesser of 12 m (39.37 feet) or three (3) storeys
Lot Area (min.)	1,200 m <sup>2</sup> (12,916 square feet)	560 m <sup>2</sup> (6,028 square feet)
Lot Coverage (max.)	~19%	50%
Total Parking Stalls (min.)	18	14
- Existing Triplex Building	6	6
- Proposed Commercial Building		
- Office Space/Retail	6	6
- Dwelling Unit	2	2
Loading Zones (min.)	1	1
Setbacks (min.)		



<b>- Existing Triplex Building</b>		
- Front Yard	> 4.5 m (14.76 feet)	4.5 m (14.76 feet)
- Exterior Side Yard	> 4.5 m (14.76 feet)	4.5 m (14.76 feet)
- Interior Side Yard	2.7 m (8.86 feet)	3 m (9.842 feet)
- Rear Yard	1.6 m (5.25 feet)	4.5 m (14.76 feet)
<b>- Proposed Commercial Building</b>		
- Front Yard	> 4.5 m (14.76 feet)	4.5 m (14.76 feet)
- Exterior Side Yard	1.6 m (5.25 feet)	4.5 m (14.76 feet)
- Interior Side Yard	> 3 m (8.842 feet)	3 m (9.842 feet)
- Rear Yard	1.3 m (4.27 feet)	4.5 m (14.76 feet)

### Parking and Loading Requirements

Section 1001 - Off-street Parking of the Zoning Bylaw requires that 1 parking stall be provided for every 23 m<sup>2</sup> (247.6 square feet) of gross floor area associated with a retail use, or 1 stall per 40 m<sup>2</sup> (430.6 square feet) of gross floor area associated with an office use. These calculations would require the applicant to provide 6 parking spaces for a retail use, or 3 parking spaces for an office use. As the applicant is proposing to use the proposed commercial building for retail or office space use, the higher requirement of 6 parking stalls will be used in the calculating the total number of required parking stalls. The Zoning Bylaw requires that 2 parking stalls be provided per dwelling unit for residential multi-family up to 25 units per acre, for a total of 6 required parking stalls for the dwelling units associated with the existing triplex. The residential dwelling unit associated with the proposed commercial building requires 2 parking stalls. In total, the sum of the parking requirements for the commercial and residential uses is 14 parking stalls; the applicant is proposing to provide 18 stalls and therefore satisfies the minimum parking requirements.

All parking spaces must have a clear length of not less than 6 m (19.68 feet) and a clear width of not less than 2.8 m (9.186 feet). A total of 40% of the required parking stalls may be made up of small car parking and have a clear length of not less than 5.2 m (17.06 feet) and a clear width of not less than 2.3 m (7.546 feet). Driveways adjacent to right angle parking must be no less than 8 m (26.25 feet) wide and no less than 6 m (19.68 feet) wide when adjacent to angle parking up to 60 degrees. Driveway access for the purpose of gaining vehicular ingress to or egress from a lot shall not be located closer than 8 m of the point of intersection of the exterior side lot line of such lot with the front lot line thereof, when such lot lines intersect at an intersection angle of 135 degrees or less. The Bylaw requires that all parking areas be paved and curbed. The proposal meets all of the aforementioned requirements related to off-street parking size, access, and surfacing and the location of driveway accesses.

As the proposal involves new construction and a change in principal use of the property, the provisions of Section 1101 - Off-street Loading apply. Section 1101 requires that 1 off-street loading space be provided for every site used as a retail store, business, industry, warehouse, or other similar use when the total gross floor area of the building is less than 450 m<sup>2</sup> (4,844 square feet). Off-street loading and unloading spaces shall be of adequate size and with adequate access to accommodate the types of vehicles which will be loading and unloading, but in no case shall be insufficient to accommodate a



vehicle 9 m (29.53 feet) in length and 2.4 m (7.874 feet) in width. The Bylaw requires that all off-street loading spaces be paved and curbed. The proposal meets all of the aforementioned requirements related to the number, size, and surfacing of off-street loading spaces.

### Landscaping

Section 403.2 of the Zoning Bylaw requires that where any commercial or industrial development abuts a controlled access highway, a landscaped buffer area shall be provided with a minimum width of 2 m (6.562 feet), or where any commercial or industrial development abuts any other highway, a landscaped buffer area shall be provided equal to the required front or exterior side yard requirement.

Furthermore, the remainder of the property not used for buildings, display, parking, or access driveways shall be suitably landscaped which consists of the following:

- i. A grass to shrubbery ratio from 6:4 to 8:2;
- ii. A minimum of five percent (5%) of the landscaped area to be planted in trees using the canopy area of the trees as a measure of the number and size of trees required;
- iii. A maximum of fifteen percent (15%) of the area shall be planted to annuals; and
- iv. Other accepted landscape materials may be utilized under the supervision of a competent landscape contractor or landscape architect.

As shown on the attached Landscape Plan, the proposal meets the aforementioned landscaping requirements.

### **OFFICIAL COMMUNITY PLAN:**

The subject property is designated in the Official Community Plan (OCP) as Highway and Tourist Commercial. The Social Development Policies of the OCP state that Council recognizes that development of land has social impacts and will act through the approval process to minimize negative and maximize positive impacts.

### Development Permit Area for Form and Character of Commercial Development

The OCP states that all lands zoned as Commercial are designated as a Development Permit Area for form and character of commercial development. All new development requires a Development Permit prior to the issuance of a Building Permit. Upon reviewing the Development Permit application, the OCP states that Council will consider the following guidelines:

- i. all construction including alterations, and/or additions, should in siting, massing and architectural character, detail and finish complement and reflect the heritage character of the City;
- ii. use of variable building form and, where practical, smaller blocks that surround built or natural form. This specifically excludes monolithic "big box" stores and horizontally expansive strip malls;

- iii. landscaping, ground cover and street furniture and lighting should reflect the heritage character of the City;
- iv. provision of lane access, where practical, for servicing and customer ingress and egress;
- v. the impact on the integrity and heritage value resulting from any proposed movement or demolition of a heritage building or structure;
- vi. recommendations and comments based upon review by the Heritage Advisory Commission; and,
- vii. the degree to which the proposed development, including signage, reflects the heritage values and characteristics of the City.

#### **REFERRAL COMMENTS:**

The application was referred for comment to the City of Enderby Public Works Manager, Building Inspector, Fire Chief, and the Ministry of Transportation and Infrastructure.

The Ministry of Transportation and Infrastructure stated that with regards to the Development Permit, as the proposed development is under 4,500 m<sup>2</sup>, the Ministry's approval is not required under Section 924(2) of the Local Government Act and therefore they have no comment. With regards to the proposed variances, the Ministry of Transportation and Infrastructure has provided a Controlled Access permit for this development and since the setback variances do not affect the front yard onto Highway 97A, they have no concerns with this proposal.

No other comments were received in response to the referral.

#### **DISCUSSION:**

##### Variances - Siting of Buildings

Variances are required to address the siting of the proposed commercial building and the existing residential triplex. The proposed commercial building is to be built upon an existing foundation on the property which was part of a previous dwelling which was being constructed under a 1997 Building Permit. The property owners at the time received a Development Variance Permit to reduce the minimum rear yard and exterior side yard setbacks for the proposed dwelling from 4.5 m (14.76 feet) to 1.0 m (3.28 feet) and 1.6 m (5.25 feet) respectively. The building was damaged by fire in 1998 and was ultimately removed but the subject foundation remained. The variances for the dwelling expired once the structure was removed, therefore variances are required to reduce the minimum rear yard and exterior side yard setbacks for the proposed commercial building from 4.5 m (14.76 feet) to 1.3 m (4.27 feet) and 1.6 m (5.25 feet) respectively. The applicant is proposing to retain the residential triplex in its existing location on the subject property, which would also require variances; the rear yard and interior side yard setback requirements are 4.5 m (14.76 feet) and 3 m (9.842 feet) respectively, compared to the proposal for the existing triplex which has a rear yard and interior side yard setback of 1.6 m (5.25 feet) and 2.7 m (8.86 feet) respectively.

It is recommended that the variance requests be approved for the following reasons:



- Variances for the commercial building were previously issued by the City of Enderby;
- Given the relatively low height of the buildings, the vertical separation between the subject property and the properties to the west, and the separation of the subject properties from the properties to the west via a lane, it is not anticipated that a reduced side yard would negatively impact the views of the surrounding properties;
- The existing residential triplex has been in its existing location for many years and the issuance of variances would not change the existing use or layout of the building;
- A 1.6 m (5.25 feet) landscape buffer will provide suitable separation between the north end of the commercial building and the abutting 3rd Avenue roadway; and
- It is not anticipated that the proposed variances related to the siting of the commercial and residential triplex buildings would have a negative impact on the use and enjoyment of the subject or surrounding properties.

#### Variance - Maximum Number of Principal Buildings

The Zoning Bylaw requires a maximum of one principal building per lot within the Highway and Tourist Commercial (C.2) Zone. The applicant is proposing to construct a commercial building while also retaining the existing residential triplex, which would result in a total of two principal buildings on site, therefore requiring a variance. The subject property has a relatively large area for a commercial property at 0.30 acre. A large commercial lot of this size can easily accommodate the two proposed principal buildings while not negatively impacting the layout, lot coverage, or aesthetics of the property. Furthermore, permitting two principal buildings will promote mixed use on the site while also increasing density, both of which are key Smart Growth principles.

For these reasons, it is recommended that this variance request be approved.

#### Variance - Location of Dwelling Units Associated with Residential Triplex

The Zoning Bylaw requires that dwelling units be located either entirely above and/or behind the commercial use on the property, and must also be located entirely within the same building as the commercial use and not a standalone building. The applicant is proposing to retain the residential triplex in its existing location, which is in a separate standalone building adjacent to the proposed commercial use, and therefore variances are required. The purpose of the requirement for a dwelling unit to be located entirely above and/or behind the commercial use is to preserve the commercial storefront appeal of the highway corridor. The purpose of the requirement for a dwelling unit to be located entirely within the same building as the commercial use is to ensure that the layout requirements of the site (parking, loading, access, etc.) are not encumbered by multiple buildings while also providing consistency with the Zoning Bylaw provision which restricts the total number of principal buildings to one.

It is recommended that these variance requests be supported for the following reasons:



- i. the existing triplex cannot be retrofitted to be located either entirely above and/or behind the commercial use, nor be contained within the same building as the commercial use;
- ii. the proposed location of the dwelling units associated with the existing triplex does not encumber the layout of the site; and
- iii. it is not anticipated that the proposed location of the dwelling units in a separate building adjacent to the commercial use will negatively affect the use and enjoyment of the subject or neighbouring properties.

Development Permit Area for Form and Character of Commercial Development

The Commercial Development Permit Area is designated to establish the objectives and guidelines for the form and character of commercial development within the City of Enderby. Development in this area is encouraged to conserve, enhance and promote the unique heritage form and character of the City of Enderby.

The proposed development is generally consistent with the Commercial Development Permit Area Guidelines. In this regard, it is noted that the proposal includes variable building form, architectural relief, and landscaping throughout the site. Furthermore, the applicant has stated that he will re-paint the siding of the existing residential triplex to match the finishing of the proposed commercial building.

For these reasons, it recommended that a Development Permit be issued.

**SUMMARY:**

This is an application for a Development Permit, with variances, to facilitate the construction of a commercial building for the property located at 308 George Street which will be used for retail/office space and residential purposes. It is recommended that a Development Permit be approved as the development meets the requirements of the Development Permit Guidelines for commercial development. It is also recommended that upon consideration of adjacent land owner's comments, Council approve the variance requests as the proposal will improve the aesthetics of the site, it will promote particular elements of Smart Growth, and it is not anticipated that the proposal will negatively affect the use and enjoyment of the subject or neighbouring properties.

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**Prepared By:**



Kurt Inglis  
Assistant Corporate Officer and Planning Assistant

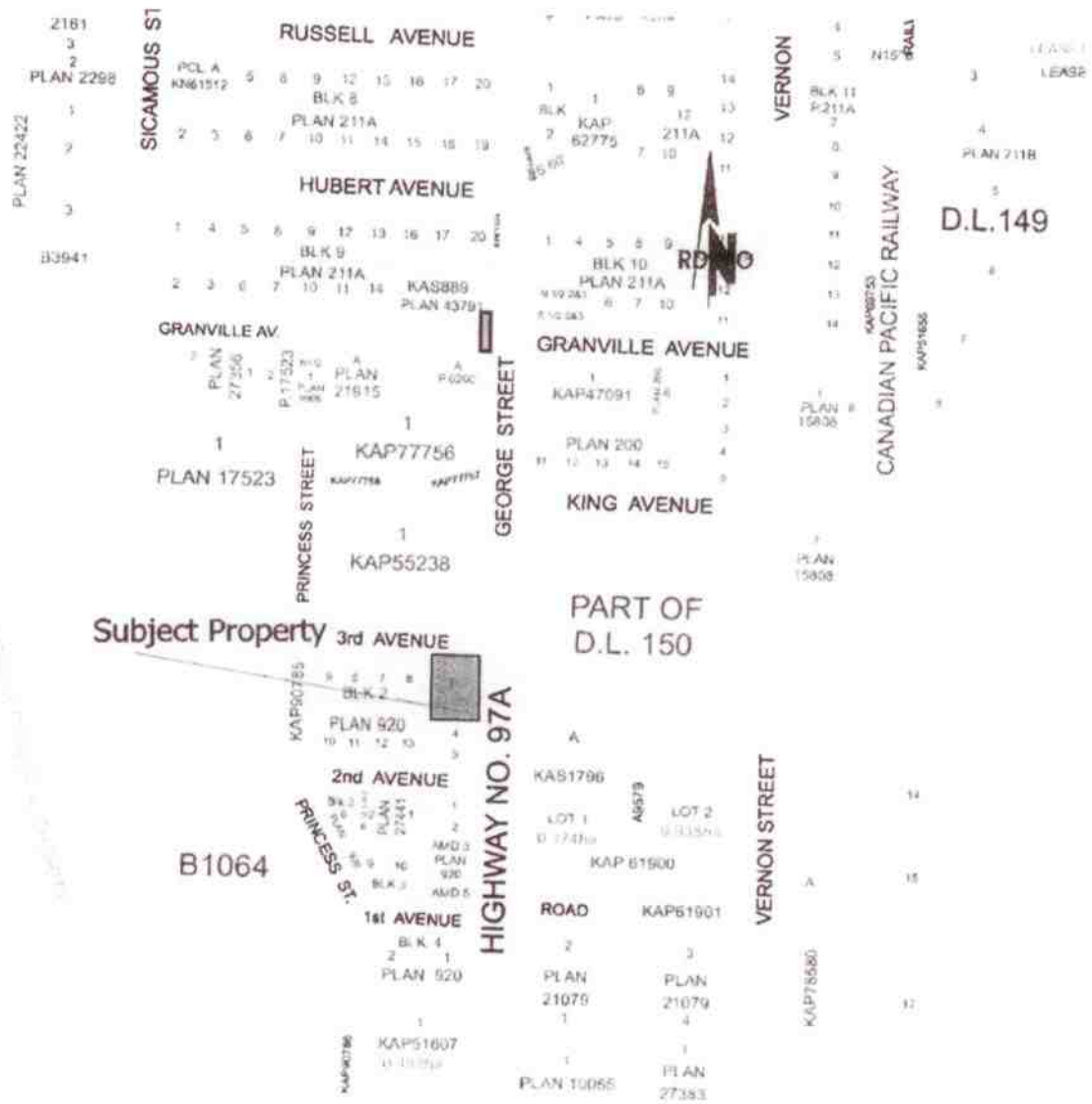
**Reviewed By:**

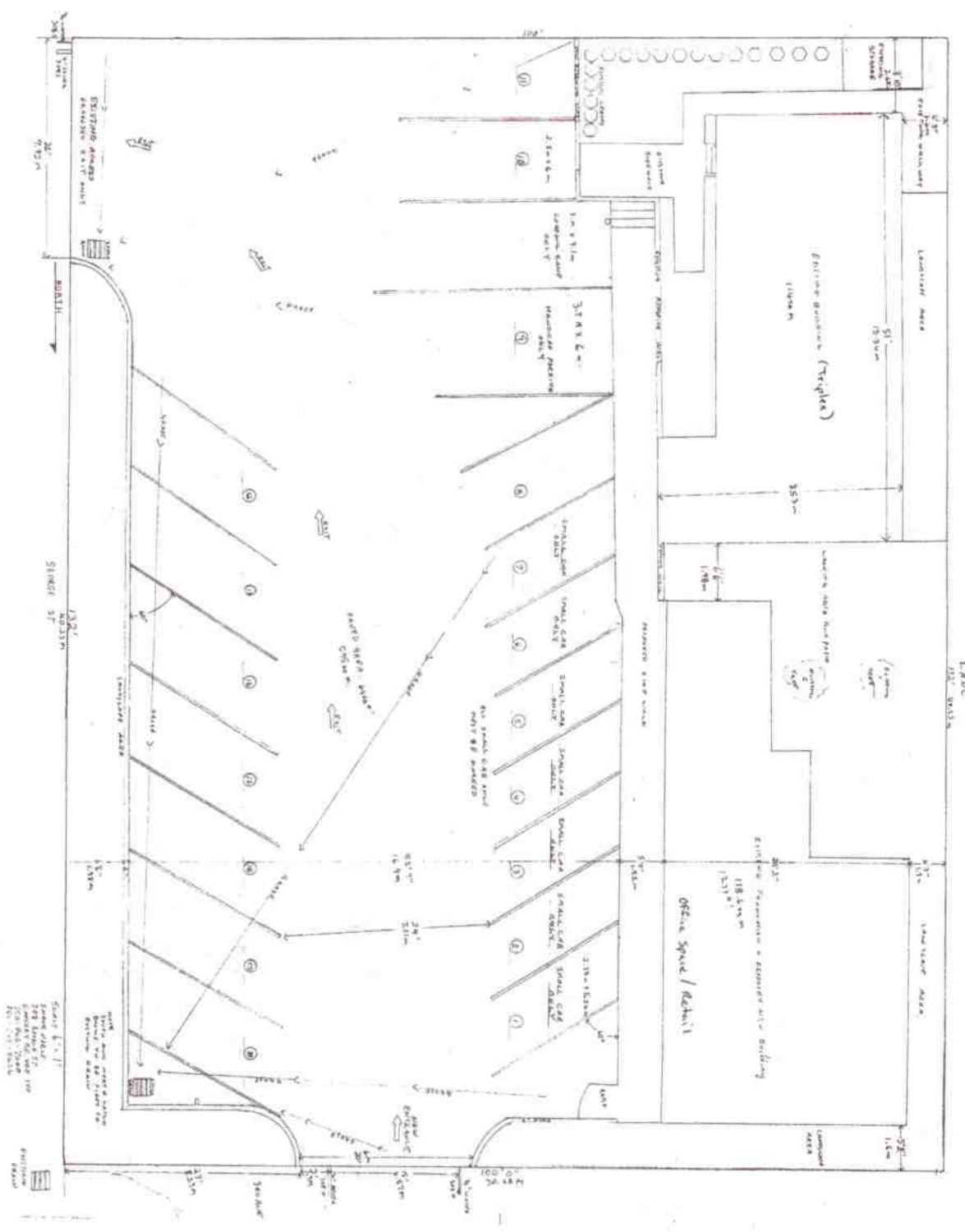


Tate Bengtson  
Chief Administrative Officer

**THE CORPORATION OF THE CITY OF ENDERBY  
DEVELOPMENT PERMIT APPLICATION  
SUBJECT PROPERTY MAP**

**File:** 0003-14-DP-END  
**Applicant:** Shane Noble c/o Lynn Noble  
**Location:** 308 George Street, Enderby, BC

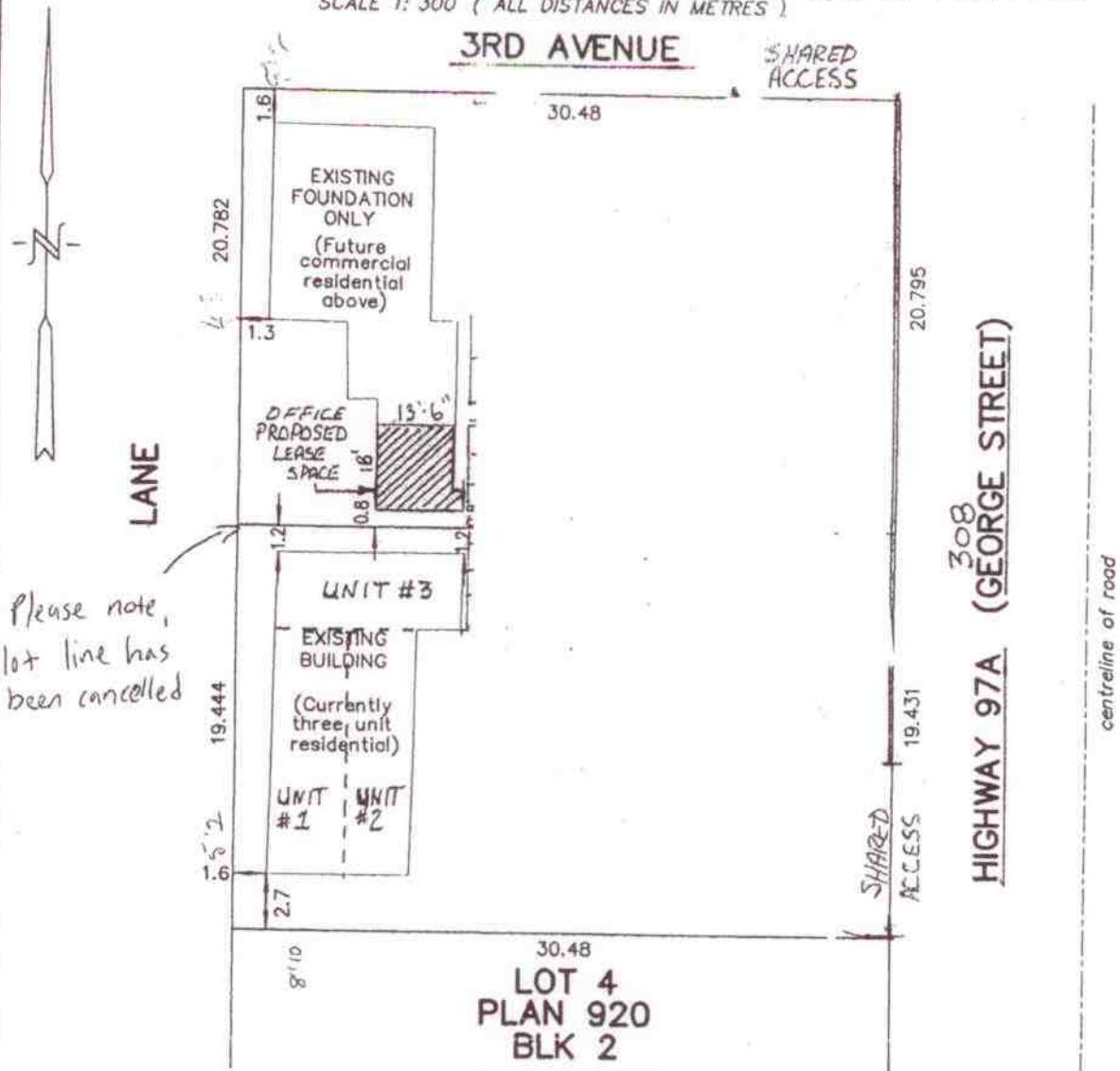




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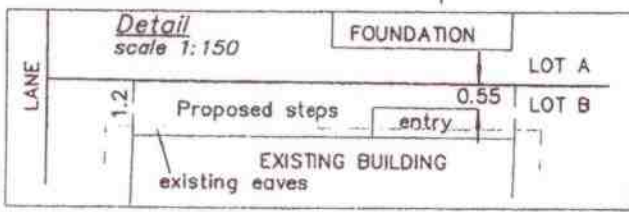
PLAN SHOWING PROPOSED SUBDIVISION OF  
 PCL A (LB165752), BK 2, DL 150, K(form. O)DYD, PLAN 920  
 SCALE 1: 300 ( ALL DISTANCES IN METRES )



Please note,  
 lot line has  
 been cancelled

LOT 4  
 PLAN 920  
 BLK 2

ZONING: C2  
 MIN LOT FRONTAGE: 15m  
 MIN LOT AREA: 560 sq.m.  
 MAX LOT COVERAGE: 50%  
 MIN SETBACKS:  
 Front yard: 4.5m plus 12m setback  
 from centreline of George St (Hwy 97)  
 Side yard: 3.0m  
 Exterior side yard: 4.5m  
 Rear yard: 4.5m



OCTOBER 17, 2011 - added detail  
 SEPTEMBER 6, 2011 - added road  
 JUNE 1, 2011 - revised  
 MAY 3, 2011

**JASON R. SHORTT**  
 British Columbia Land Surveyor

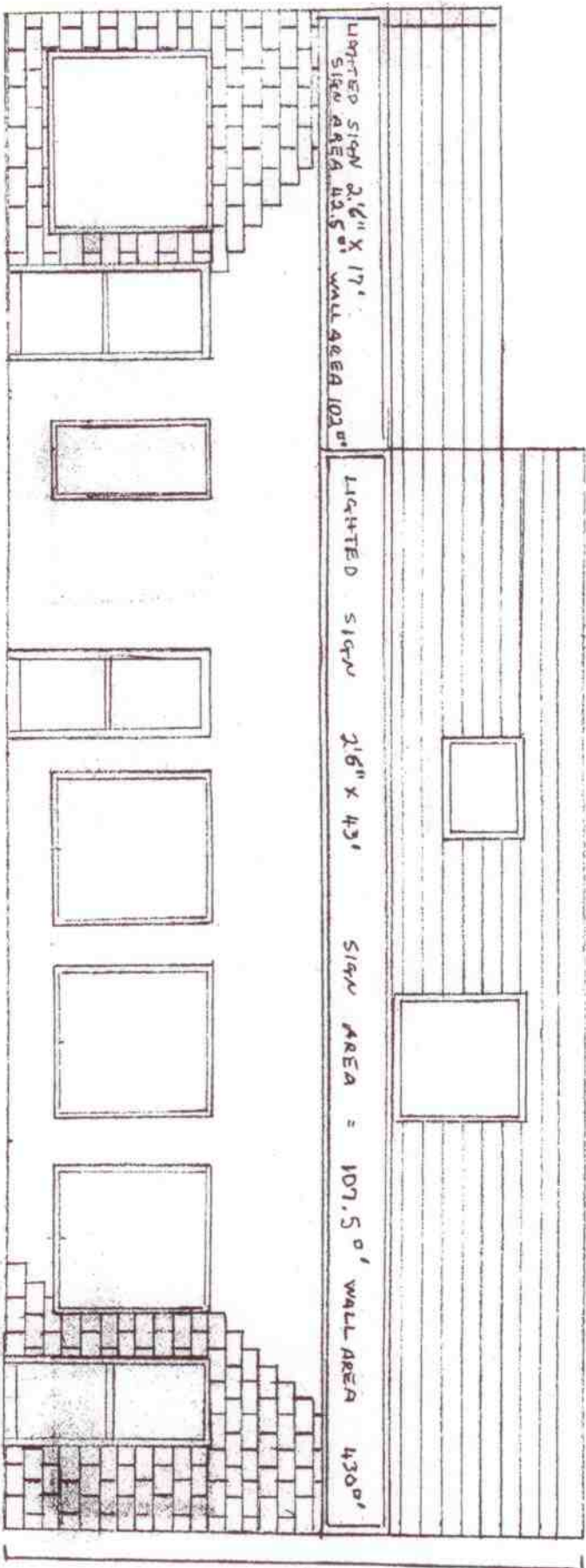
2801-32nd Street, Vernon, B.C. Phone 545-0511

FAX: 545-2741  
 FILE No. 25300prop

19951120.1308

THIS PLAN IS PREPARED FOR THE USE OF:  
 NOBLE

7



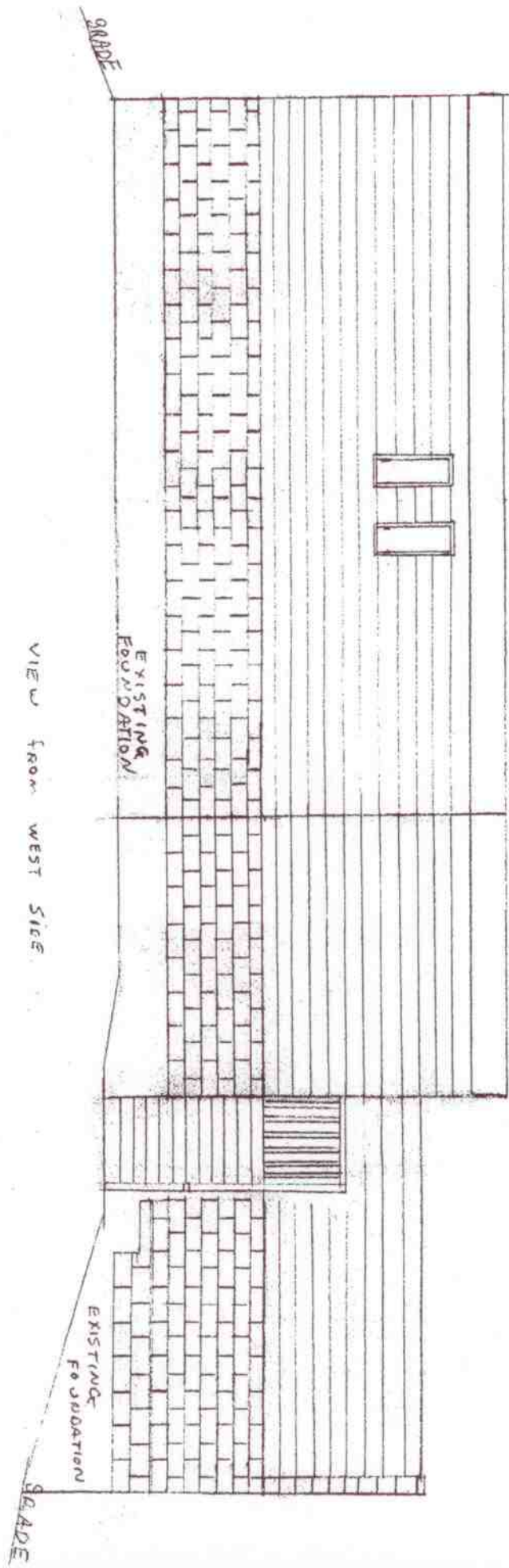
~25'

FRONT VIEW

Proposed Commercial Buildings

SCALE 1/4" = 1'  
 SHANE NOBLE  
 308 GERRYST  
 EPPERLY BC YOE LVO  
 150 862 7040 TYNN  
 250 308 8424 SHANE



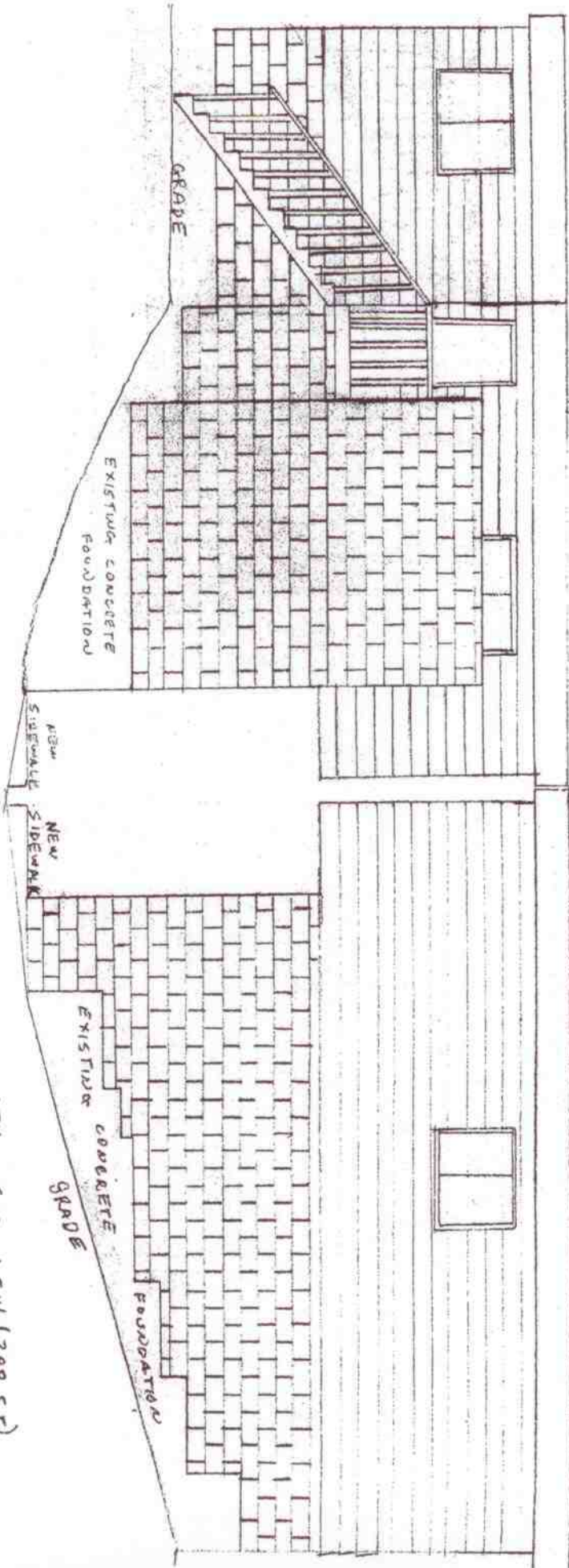


Proposed Commercial Building

SCALE 1/4" = 1'  
 SHANE MOORE  
 308 GEORGE ST  
 EUGENE, OR, VDE 1V0  
 250 PC2 70410  
 250 308 8424

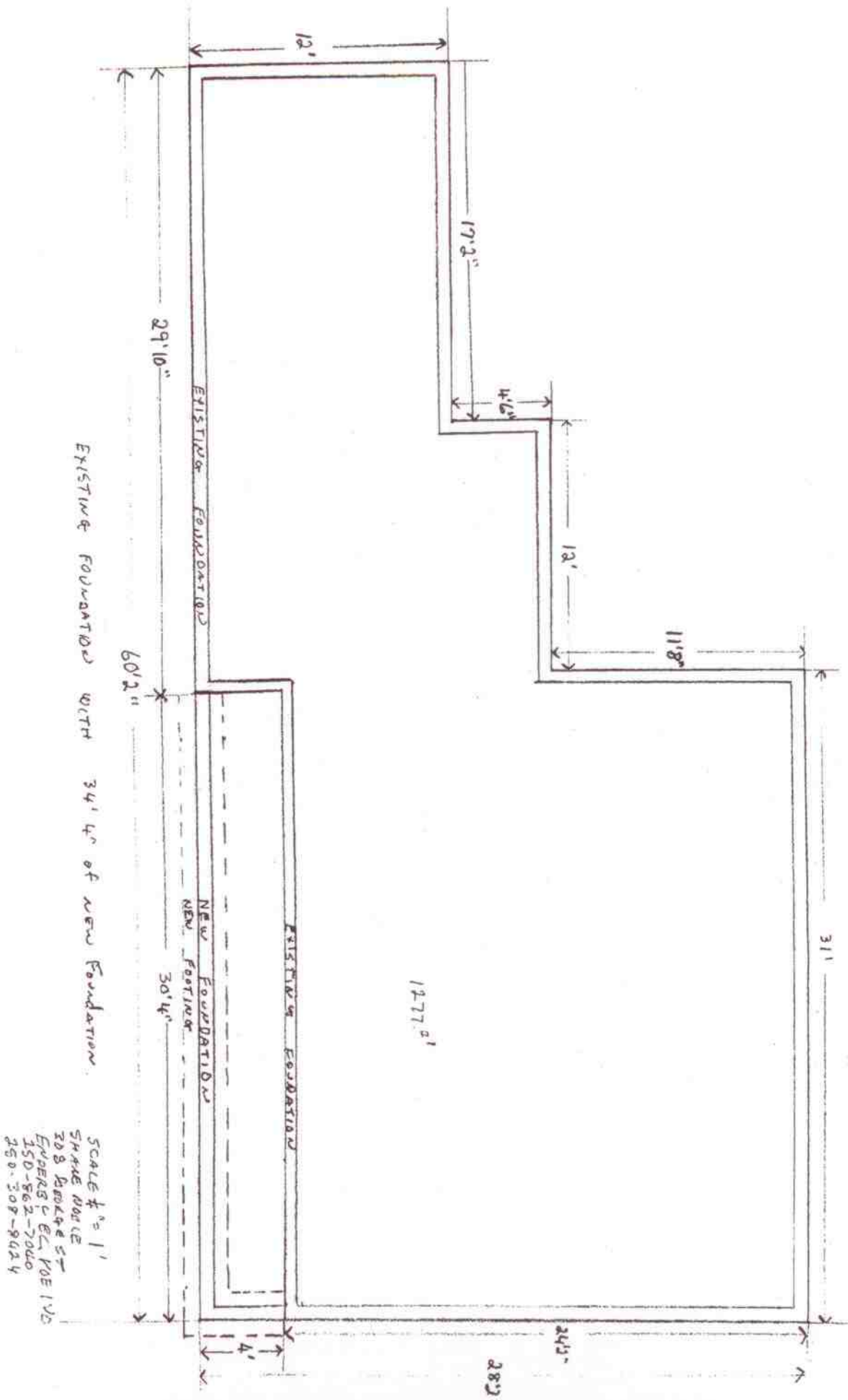
SOUTH END VIEW

NORTH END VIEW (300 SF)



Proposed Commercial Building

SCALE 1/4" = 1'  
 SHANE DOOLE  
 308 BEACON ST  
 ENDERBY DC VBE IVD  
 150-862-7060 LYNN  
 150-308-8424 SHANE

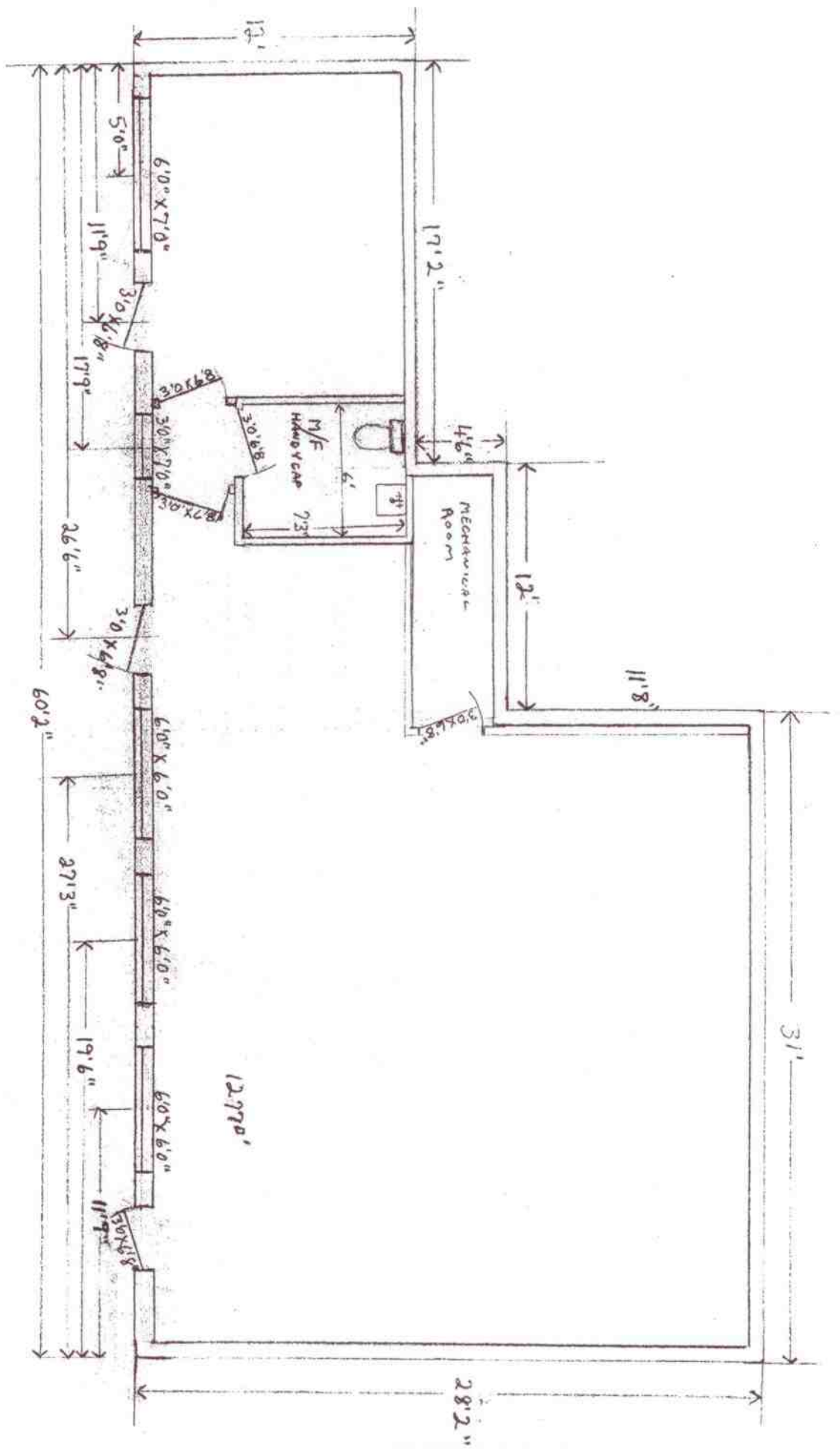


EXISTING FOUNDATION WITH 34' 4" OF NEW FOUNDATION.

SCALE 1/8" = 1'  
 SHANE BOUCE  
 308 BROOK ST  
 ENDRIS, CT 06040  
 250-308-9424

Ch





PLAN SHOWING PROPOSED SUBDIVISION OF  
 PCL A (1B165752), BK 2, DL 150, K(Form, O)D(2), PLAN 920  
 SCALE 1:205, ALL DISTANCES IN METRES,  
 3RD AVENUE



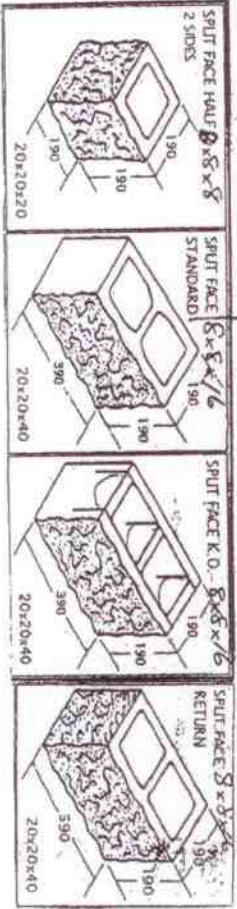
ZONING: C2  
 MIN LOT FRONTAGE: 15m  
 MIN LOT AREA: 500 sqm  
 MAX LOT COVERAGE: 50%  
 MIN SETBACKS:  
 Front yard: 4.5m plus 1/2m setback  
 From centreline of George St ( Hwy 97 )  
 Side yard: 1.0m  
 Exterior side yard: 4.5m  
 Rear yard: 4.5m

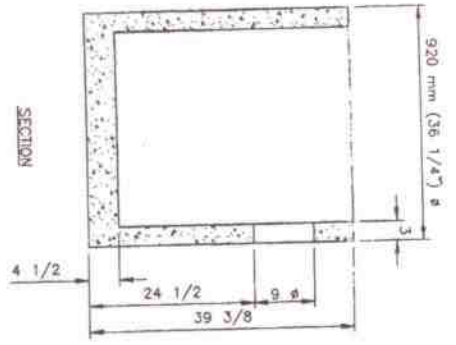
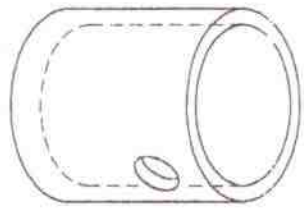
JASON R. SHORTT  
 Engineer Columbia Land Services  
 2601 - 32nd Street, Vernon, B.C. Phone 540-0211  
 FAX: 545-2741  
 FILE NO. 20100909  
 THIS PLAN IS PREPARED FOR THE USE OF:  
 OCTOBER 17, 2011 - updated original  
 SEPTEMBER 6, 2011 - added road  
 LINE 1, 2011 - revised  
 MAY 1, 2011 - revised  
 THESE PLANS ARE PREPARED FOR THE USE OF:  
 MYSELF

**BLOCK SPECIFICATIONS**

- FRONT WALL BLOCKS
- Sandstone colour split face standard 8x3x16 blocks, see attached sht from O K builders
- NORTH WALL BLOCKS
- Sandstone colour split face standard 8x3x16 blocks
- WEST WALL BLOCKS
- Grey standard 8x3x16 blocks
- SOUTH WALL BLOCKS
- Grey standard 8x3x16 blocks
- FLOOR TRUSSES
- Manufactured floor trusses, engineered drawings to come with floor joists.
- ROOF TRUSSES
- Manufactured roof trusses, engineered drawings to come with roof trusses.
- FRONT SIDEWALK
- Front sidewalk to be poured in place concrete 5 feet in width and one and one quarter inches of slope away from building as shown on plan.
- EXTERIOR SIDING
- Exterior siding to be horizontal vinyl siding sandstone in colour as sample spec is 250-550-1600 w/can home depot order # 120-602
- CATCH BASINS
- Catch basins to as attached spec sheets drawing # C B 0400 / C B 0401 A / B37A / B37B, installed as shown on plan.
- LANDSCAPING
- As per drawings from landscape designer, total landscape area to be approx. 1652 square ft.
- PAVING
- Parking area to be paved with asphalt paving to be min. 2.362 inches thick to catch water to catch basins as per site drawings.
- CURBS
- Curbs to be concrete 6 inches in width as shown on site drawings.
- SIGNS
- 2ft. x 6 in. x 43 ft. lighted sign mounted on front of building front overhang.
- PARKING
- Nos. 1 to 7 - 7 small car parking @ 60 degree angle  
 Nos. 10,11,12 - 3 full size car parking @ 90 degree angle  
 TOTAL PARKING STALLS IS 19.  
 No. 8 will be - 1 handicap parking @ 90 degree angle  
 Nos. 13 to 19 - 7 full size car parking @ 60 degree angle  
 No. 9 - 1-12 by 30 ft. loading zone only.

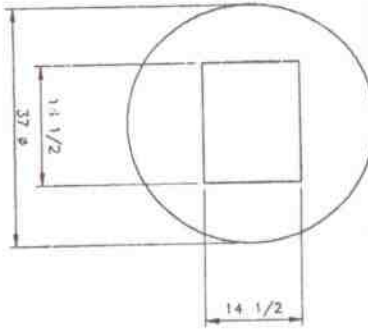
**OK Builders Supplies Ltd.**





**PEKO PRECAST**

<b>30" CATCH BASIN</b>		<b>CB0400</b>	
SCALE: 3/4"=1'-0" DIMENSIONS: 1/2"=1'-0"	DO NOT SCALE THIS DRAWING	DATE: 15.09.04	SCALE: 3/4"=1'-0" DIMENSIONS: 1/2"=1'-0"

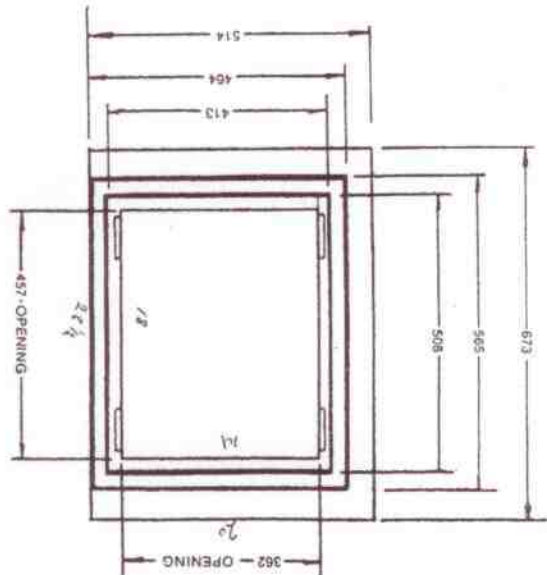
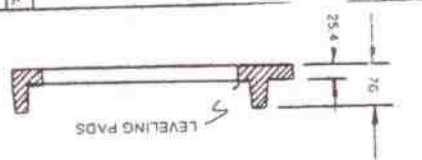


SECTION

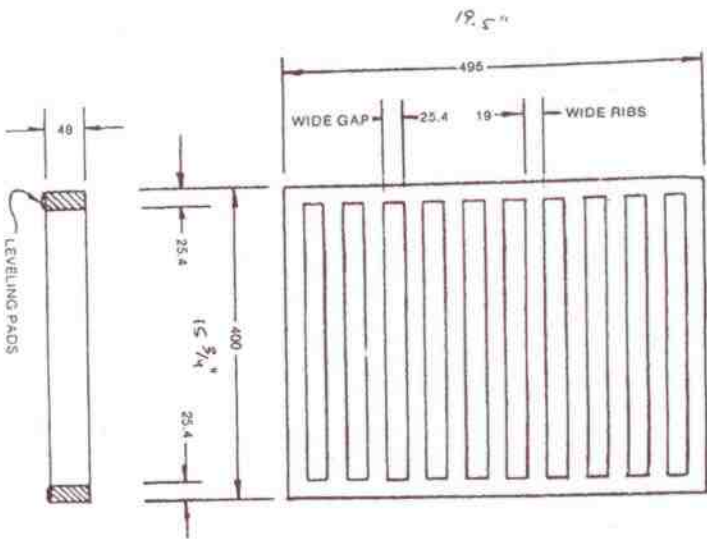


**PEKO PRECAST**

<b>30" CATCH BASIN LID (B-37 OPENING)</b>		<b>CB0401 A</b>	
SCALE: 3/4"=1'-0" DIMENSIONS: 1/2"=1'-0"	DO NOT SCALE THIS DRAWING	DATE: 15.09.04	SCALE: 3/4"=1'-0" DIMENSIONS: 1/2"=1'-0"



<b>DOBNEY FOUNDRY CO. LTD.</b>		<b>SURREY, B.C.</b>	
RATING - H-20		NO. B-37A	
406 x 508 CATCH BASIN FRAME		NO. B-37A	

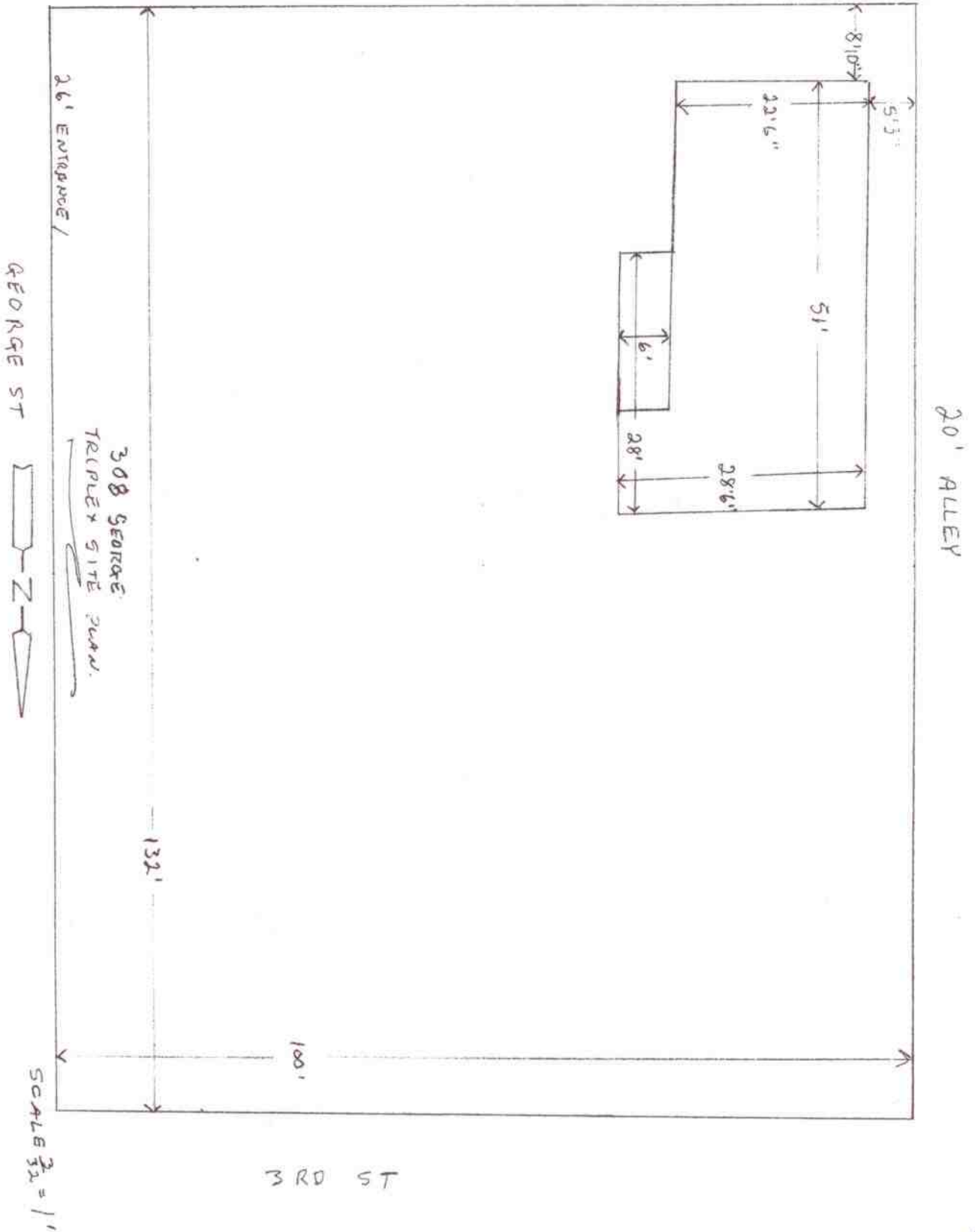


<b>DOBNEY FOUNDRY CO. LTD.</b>		<b>SURREY, B.C.</b>	
RATING - H-20		NO. B-37	
400 x 495 CATCH BASIN GRATE		NO. B-37	

ALL GRATES MACHINED FOR NON-ROCKING FIT

25

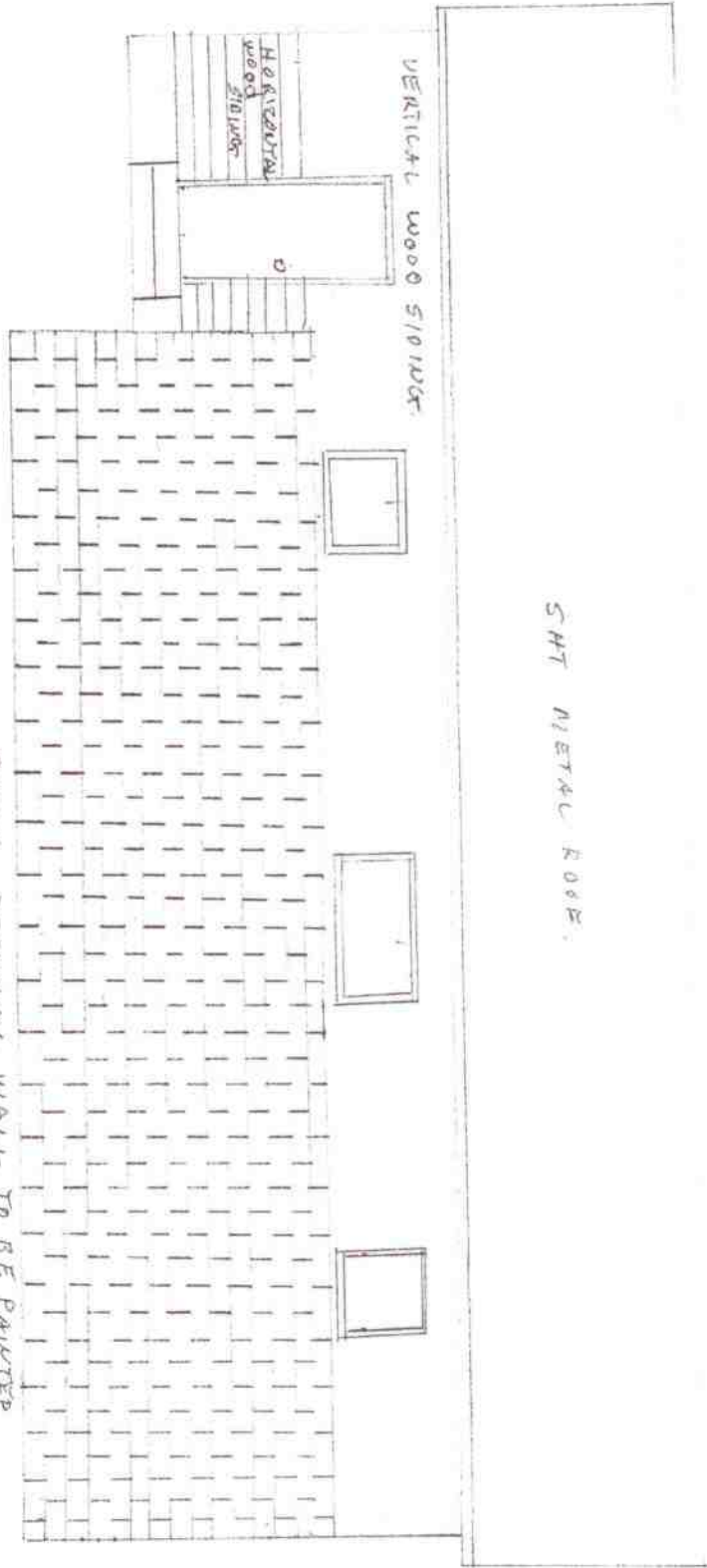




SHY METAL ROOF

VERTICAL WOOD SIDING

HORIZONTAL  
WOOD  
SIDING



BLOCK RETAINING WALL TO BE PAINTED  
SAME COLOUR AS BUILDING

Existing  
Triplex

Front View



**SWAN LAKE NURSERYLAND**  
 1700 HIGHLAND RD.  
 WASHINGTON, NC  
 703 596 7143  
 FAX: (703) 592 2343  
 info@swanlakenursery.com

**GENERAL NOTES**  
 1. All plants shall be supplied in the container specified on the drawing.  
 2. All plants shall be supplied in the container specified on the drawing.  
 3. All plants shall be supplied in the container specified on the drawing.  
 4. All plants shall be supplied in the container specified on the drawing.

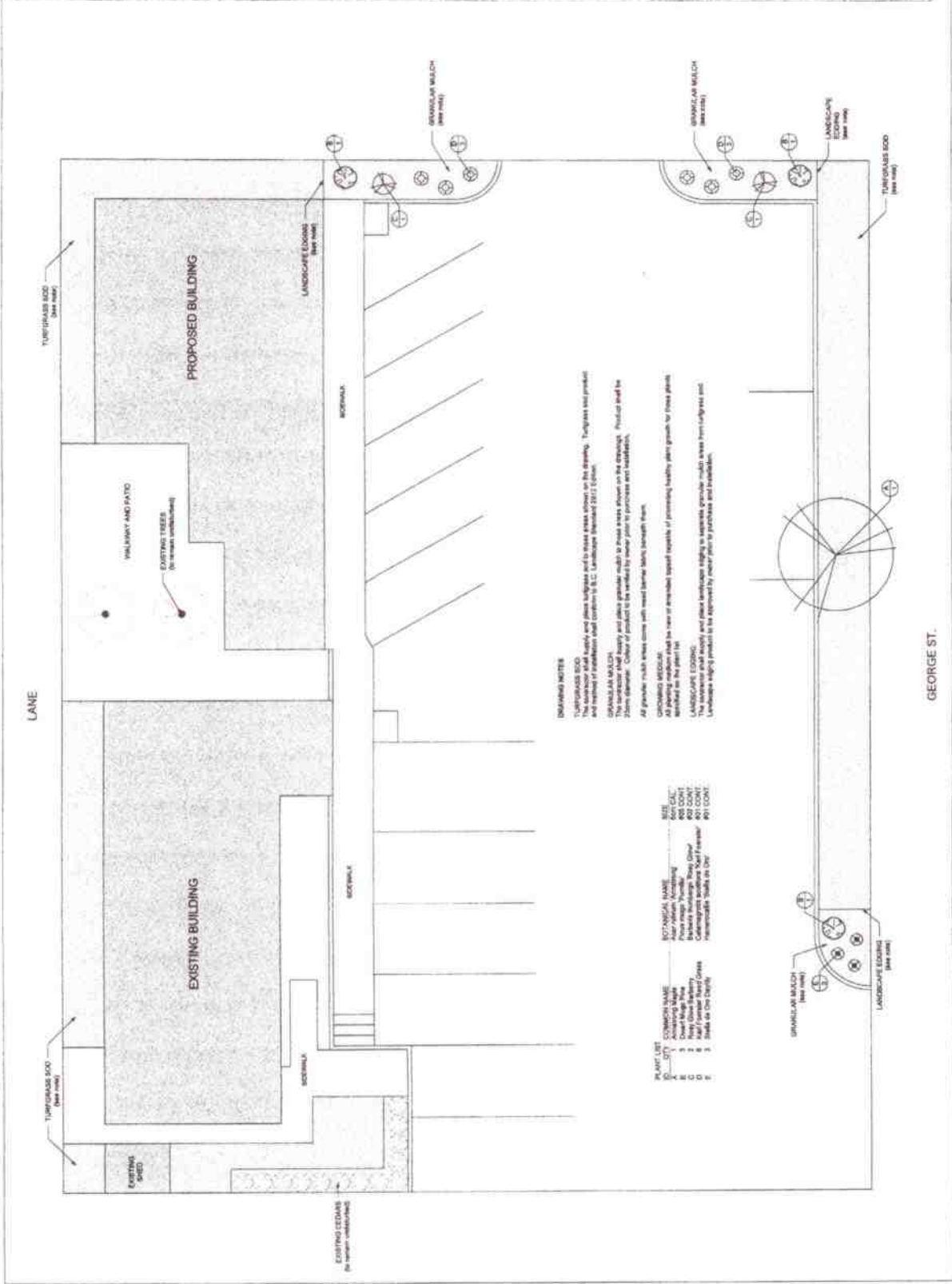
DATE	DESCRIPTION

308 GEORGE ST.  
 DUBLIN, NC

**LANDSCAPE PLAN**  
 SHEET 1 OF 1

NO.	DATE	BY	CHKD.

**L1.0**



**EXISTING NOTES**  
 TURFGRASS SOO  
 The contractor shall supply and install grass seed on the drawing. Turfgrass seed product and method of installation shall conform to S.C. Landscape Standard 2012 (SCLM).

GRANULAR MULCH  
 The contractor shall supply and install granular mulch in areas noted on the drawing. Product shall be 3/8" stone diameter. Color of product to be verified by owner prior to purchase and installation.

All granular mulch areas shall have a minimum depth of 2" and shall be maintained.

GRASSING MEDIA  
 The contractor shall supply and install grassing media in areas noted on the drawing. Product shall be 1/4" to 1/2" size and shall be installed as per the plan.

LANDSCAPE EDGING  
 The contractor shall supply and install landscape edging in areas noted on the drawing. Product shall be 2" high and shall be installed as per the plan.

PLANT CODE	COMMON NAME	SCIENTIFIC NAME	SIZE
A	Autumn Yellow	Fraxinus pennsylvanica	60T CUL
B	Red Oak	Quercus rubra	60T CUL
C	White Oak	Quercus alba	60T CUL
D	Red Maple	Acer rubrum	60T CUL
E	Red Cedar	Juniperus horizontalis	60T CUL
F	Red Cedar	Juniperus horizontalis	60T CUL
G	Red Cedar	Juniperus horizontalis	60T CUL
H	Red Cedar	Juniperus horizontalis	60T CUL
I	Red Cedar	Juniperus horizontalis	60T CUL
J	Red Cedar	Juniperus horizontalis	60T CUL
K	Red Cedar	Juniperus horizontalis	60T CUL
L	Red Cedar	Juniperus horizontalis	60T CUL
M	Red Cedar	Juniperus horizontalis	60T CUL
N	Red Cedar	Juniperus horizontalis	60T CUL
O	Red Cedar	Juniperus horizontalis	60T CUL
P	Red Cedar	Juniperus horizontalis	60T CUL
Q	Red Cedar	Juniperus horizontalis	60T CUL
R	Red Cedar	Juniperus horizontalis	60T CUL
S	Red Cedar	Juniperus horizontalis	60T CUL
T	Red Cedar	Juniperus horizontalis	60T CUL
U	Red Cedar	Juniperus horizontalis	60T CUL
V	Red Cedar	Juniperus horizontalis	60T CUL
W	Red Cedar	Juniperus horizontalis	60T CUL
X	Red Cedar	Juniperus horizontalis	60T CUL
Y	Red Cedar	Juniperus horizontalis	60T CUL
Z	Red Cedar	Juniperus horizontalis	60T CUL



**CITY OF ENDERBY  
DEVELOPMENT VARIANCE PERMIT APPLICATION**

File No: 003-14-DVP-END

May 14, 2014

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**APPLICANT:** Ron Riggall

**LEGAL DESCRIPTION:** Lot 1, Section 26, Township 18, Range 9, West of the 6th Meridian, Kamloops Division Yale District, Plan KAP91035

**PID #:** 028-264-592

**LOCATION:** 1102 High Street, Enderby BC V0E 1V1

**PROPERTY SIZE:** 0.085 hectares

**ZONING:** Residential Single Family (R.1-A)

**O.C.P DESIGNATION:** Residential Low Density

**PROPOSAL:** To construct an accessory residential building (workshop)

**PROPOSED VARIANCE:** Vary the setback distance from an exterior side lot line for an accessory residential building from 8 m (26.25 feet) to 6.27 m (20.57 feet)

**RECOMMENDATION:**

THAT Council authorize the issuance of a Development Variance Permit for the property legally described as Lot 1, Section 26, Township 18, Range 9, West of the 6th Meridian, Kamloops Division Yale District, Plan KAP91035 and located at 1102 High Street Street to permit a variance to the following section of the City of Enderby Zoning Bylaw No. 966, 1987:

- 402.4.a.i by reducing the setback distance from an exterior side lot line for an accessory residential building from 8 m (26.25 feet) to 6.27 m (20.57 feet) as shown on the attached site plan.

**BACKGROUND:**

This report relates to an application for a Development Variance Permit for the property located at 1102 High Street. The applicant is proposing to construct an accessory residential building (workshop) in the southwest corner of the subject property and would be sited such that the exterior side yard setback

would need to be reduced. The issuance of a Development Variance Permit is therefore required in order to authorize the issuance of a Building Permit for the proposed development.

#### Site Context and the Proposal

The subject property is located on the northwest corner of High Street and Stanley Avenue. The property currently contains a single family dwelling with an attached garage. The property is relatively flat with a slight increase in elevation from east to west. The subject property and the properties to the north, east, south, and west are all zoned Residential Single Family (R.1-A) and designated in the Official Community Plan as Residential Low Density.

The following orthophoto of the subject and surrounding properties was taken in 2004:



The applicant is proposing to construct an accessory residential building, a workshop, in the southwest corner of the subject property. The dimensions of the proposed building are 6.1 m x 4.9 m (20' x 16') giving it a gross floor area of 29.7 m<sup>2</sup> or 320 ft<sup>2</sup>. The workshop will be used as a work area and for storage purposes, with no proposed vehicular access to the building. The workshop is proposed to be built a distance of 6.27 m from the exterior side lot line while the Zoning Bylaw requires accessory residential buildings to be sited a minimum of 8 m from the exterior side lot line; a variance to Section 402.4.a.i is therefore required, prior to the issuance of a Building Permit.

#### Development History

In 2010, it came to the City of Enderby's attention that a portion of the single family dwelling located on the subject property was encroaching within the High Street Road right-of-way. In response, the City of

55



Enderby adopted the High Street Road Closure Bylaw No. 1463, 2010 which resulted in the City relinquishing a portion of the High Street right-of-way to the subject property owners and the front property line of the subject property being realigned to the east.

In 2011, there was a Development Variance Permit issued for the subject property in order to reduce the exterior side yard setback and rear yard setback for a garage addition to the single family dwelling from 5 m (16.40 feet) and 6 m (19.68 feet) to 1.54 m (5.05 feet) and 3.41 m (11.19 feet) respectively.

**ZONING BYLAW:**

The subject property is zoned Residential Single Family (R.1-A). Uses permitted within the R.1-A zone include accessory residential, restricted agricultural, single family dwellings, and secondary suites. The proposal as compared to the accessory residential building and R.1-A zone requirements are as follows:

CRITERIA	PROPOSAL	ZONE REQUIREMENTS
Lot Area (min.)	850 m <sup>2</sup> (9,149 square feet)	450 m <sup>2</sup> (4,844 square feet)
Lot Coverage (max.)	<45%	45%
Number of accessory residential buildings (max.)	1	2
Maximum height of accessory residential buildings	4.8 m (15.75 feet)	5 m (16.40 feet)
Accessory residential building square footage (max.)	29.7 m <sup>2</sup> (320 square feet)	80.3 m <sup>2</sup> (864 square feet)
Horizontal dimension (max.)	6.1 m (20 feet)	11 m (36.1 feet)
Accessory Building Setbacks (min.)		
o Front	14.47 m (47.47 feet)	8 m (26.25 feet)
o Exterior Side	6.27 m (20.57 feet)	8 m (26.25 feet)
o Rear	3.25 m (10.66 feet)	1.5 m (4.92 feet)
o Side	3.27 m (10.73 feet)	1.5 m (4.92 feet)
o Other Buildings	3 m (9.842 feet)	3 m (9.842 feet)

**OFFICIAL COMMUNITY PLAN:**

The Social Development Policies of the Official Community Plan state that Council recognizes that the development of land has social impacts and will act through the approval process to minimize negative and maximize positive impacts.

The General Objectives of the OCP state that it is the objective of Council:

- To maintain the City as a diverse, vibrant, unique and attractive community;
- To maintain and enhance the social well being, development, and the quality of life for all citizens of Enderby;
- To preserve and enhance the land use, form and character of development, architecture and natural features that make Enderby an attractive and unique community; and



- To respect and preserve a process of open, flexible and participatory decision making in the ongoing planning and day-to-day decisions of the City.

#### **REFERRAL COMMENTS:**

The subject application was referred to the City of Enderby Municipal Office, City of Enderby Public Works Manager, Building Inspector, and Fire Chief for comment.

The Building Inspector advised that he had no comments or concerns with respect to the application. The Ministry of Transportation and Infrastructure advised that they do not comment on DVPs unless the subject property fronts a highway under their jurisdiction, therefore they have no comment as the proposal does not affect their interests.

No other comments were received in response to the referral.

#### **PLANNING ANALYSIS:**

It is not anticipated that the construction of the proposed accessory residential building (workshop) would negatively affect the use and enjoyment of the subject or neighbouring properties for the following reasons:

- The property owner has given due regard to the siting of the proposed accessory residential building such that it is aligned with the garage of the neighbouring property to the west, therefore the two buildings are setback a similar distance from Stanley Avenue;
- The proposed building will be screened from the west, south, and east via existing fencing, trees, and hedging, thus minimizing any visual impacts that may arise; and
- Given the vertical separation between the subject property and the property to the west, coupled with the relatively low height of the proposed building, it is not anticipated that the proposed development would negatively impact the views of the neighbouring property.

#### **SUMMARY**

This is an application for a Development Variance Permit for the property located at 1102 High Street. The applicant is proposing to enclose an existing accessory residential building (workshop) in the southwest corner of the subject property and requires the issuance of a Development Variance Permit to vary the setback distance from an exterior side lot line from 8 m to 6.27 m.

It is recommended that upon consideration of adjacent land owner's comments, Council issue a Development Variance Permit as the proposed alteration would not negatively affect the use and enjoyment of the subject and neighbouring properties due to the setback distance from Stanley Avenue being consistent with other buildings in the vicinity, the screening of the property via fencing, trees, and

hedging, and the vertical separation between the subject property and neighbouring property to the west.

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**Prepared By:**



Kurt Inglis, Planning Assistant

**Reviewed By:**



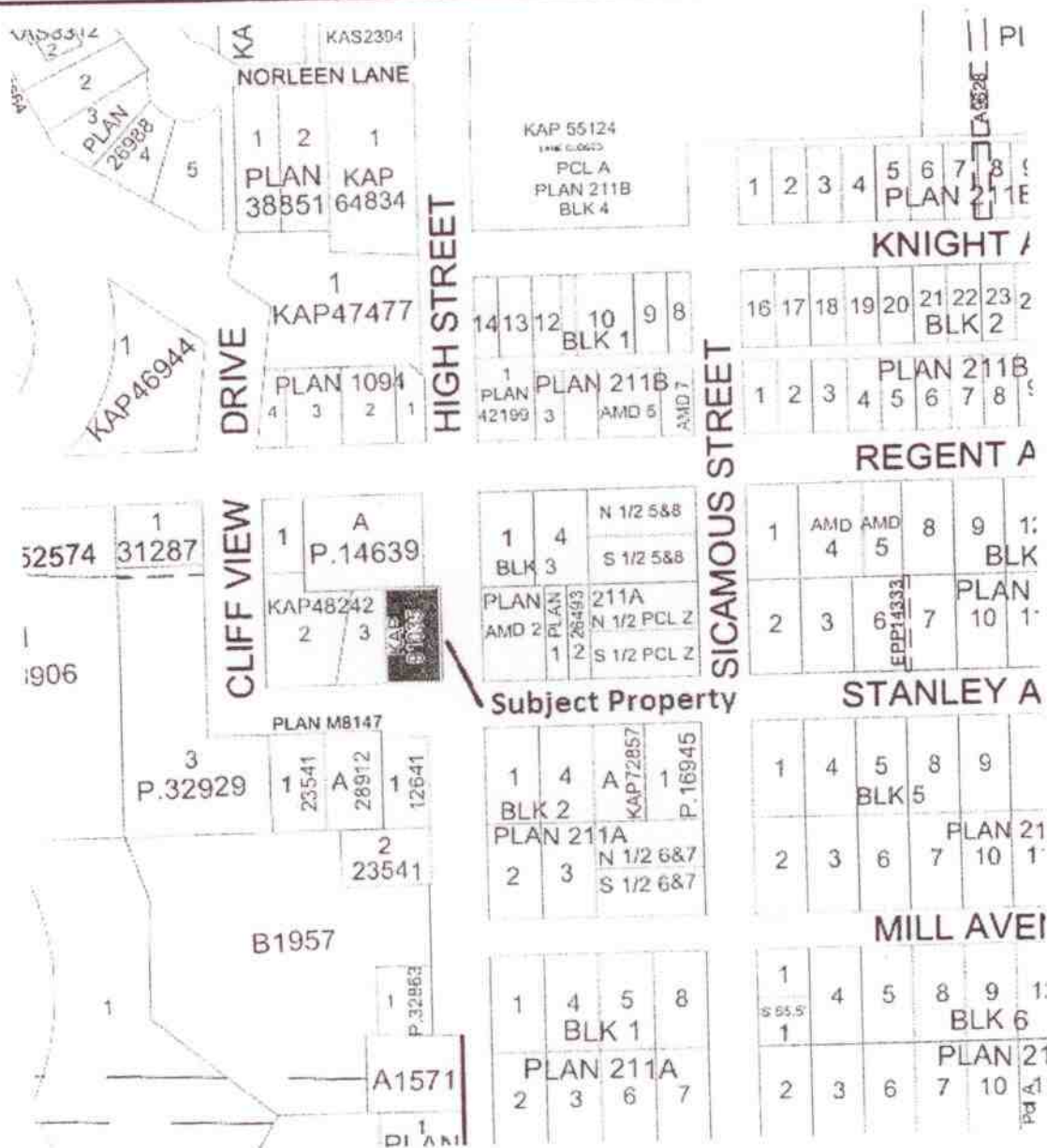
Tate Bengtson, Chief Administrative Officer

# THE CORPORATION OF THE CITY OF ENDERBY

## DEVELOPMENT PERMIT APPLICATION

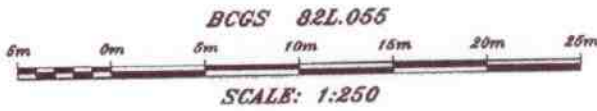
### SUBJECT PROPERTY MAP

File: 0003-14-DVP-END  
Applicant: Ron Riggall  
Location: 1102 High Street, Enderby, BC





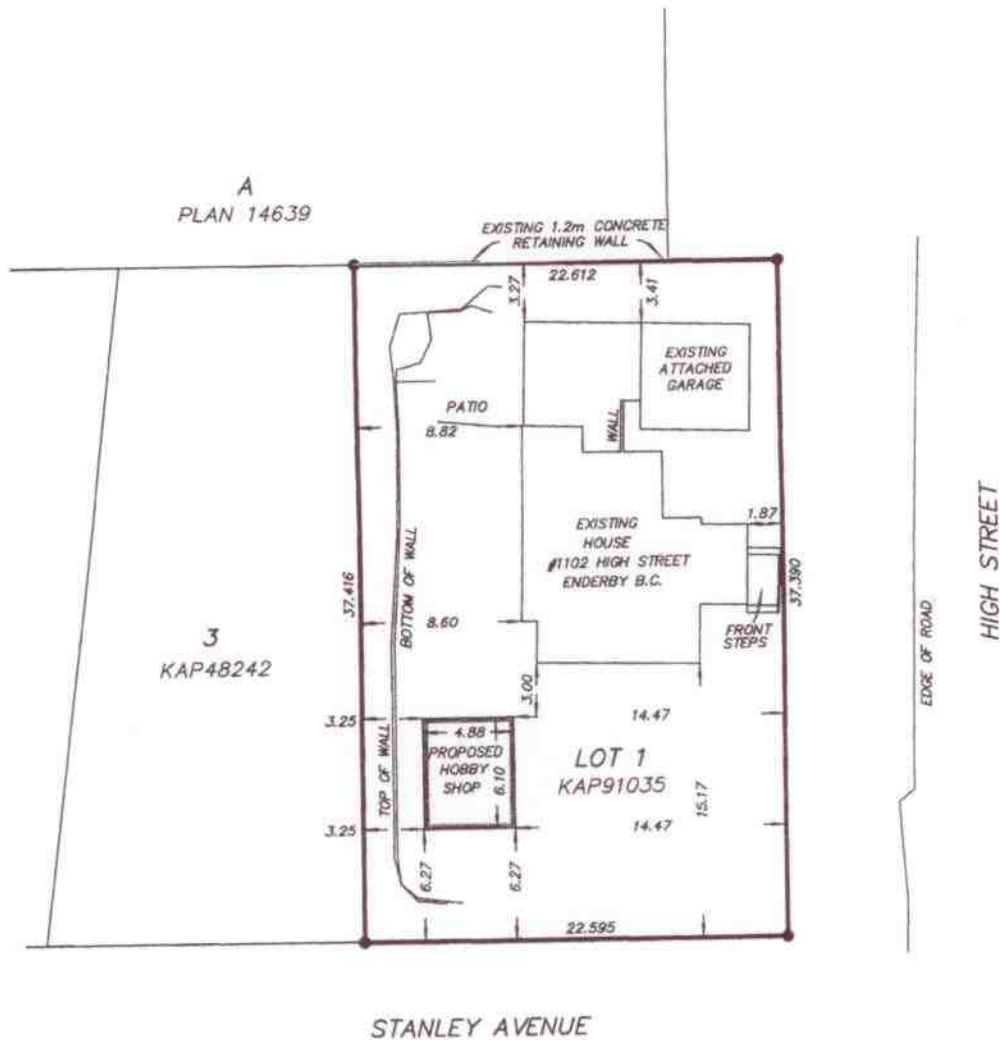
**SITE PLAN OF LOT 1 SECTION 26  
TOWNSHIP 18 RANGE 9 WEST OF THE  
6TH MERIDIAN KAMLOOPS DIVISION  
YALE DISTRICT PLAN KAP91035**



ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF.

**LEGEND**

- DENOTES STANDARD IRON POST FOUND



A THOROUGH EVALUATION OF REQUIREMENTS WAS MADE DURING THE PREPARATION OF THIS SKETCH, BUT IT IS THE SOLE RESPONSIBILITY OF THE USER TO ENSURE FULL COMPLIANCE WITH ALL NECESSARY REGULATIONS. THIS SKETCH MAY INCLUDE INFORMATION SUPPLIED BY THE CLIENT OR THE CLIENT'S AGENT.

**MONASHEE  
SURVEYING • GEOMATICS**

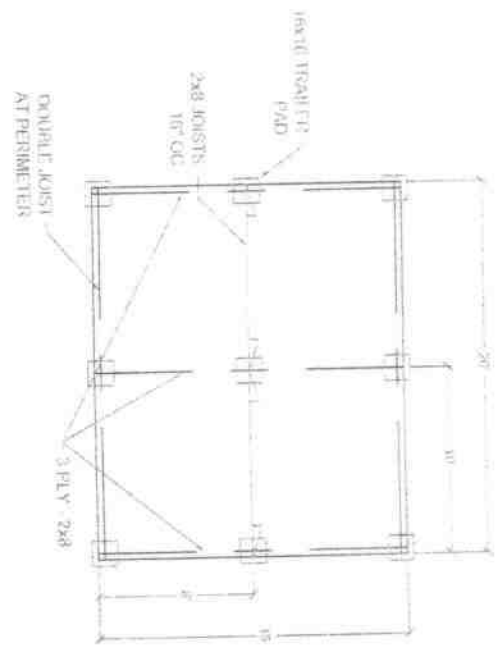
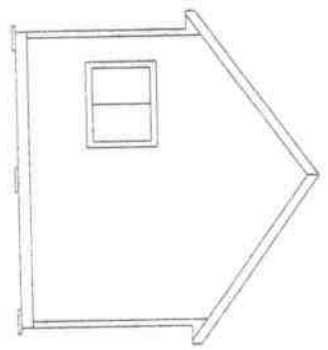
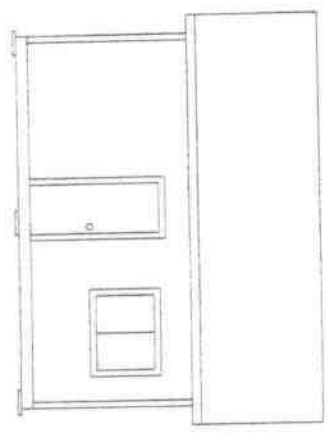
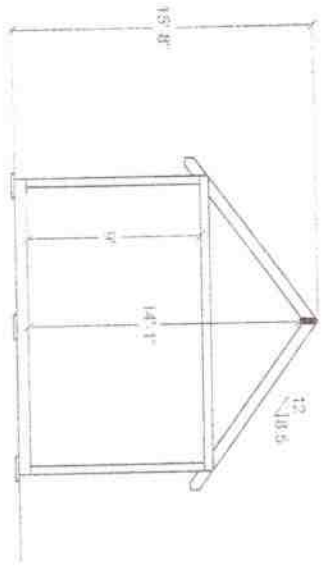
3110A 28th Street Vernon, B.C. V1T 8X2 Tel. (250) 546 5000 Fax (250) 546 5012

DATE: APRIL 24, 2014  
DRAWING: 5676 SITE PLAN REV 2.DWG

ROOF  
 ASPHALT SHINGLES  
 ROOFING FELT  
 5" PLYWOOD  
 2x8 RAFTERS 24" OC  
 2x6 COLLAR TIES

WALLS  
 SMART PANEL SHEETING  
 2x4 STUDS 24" OC

FLOOR  
 5/8" PLYWOOD  
 2x10 JOISTS 16" OC



**SHEPHERD'S HARDWARE LTD.**

3525 Mill Street P.O. Box 37  
 Armstrong, B.C.  
 Ph. (250) 546-3002  
 Fax (250) 546-8350



61

PROJECT	RIGGALL
TITLE	10 X 20 SHED
SCALE	N.T.S.
DATE	MAR 13
DRAWN BY	RD
SHEET NO.	1

**CITY OF ENDERBY  
DEVELOPMENT VARIANCE PERMIT APPLICATION**

File No: 004-14-DVP-END

May 14, 2014

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**APPLICANT:** City of Enderby

**LEGAL DESCRIPTION:** Lot A, District Lot 150, Kamloops (formerly Osoyoos) Division Yale District, Plan 10556 Except Plan EPP7929

**PID #:** 009-553-479

**LOCATION:** 907 George Street, Enderby BC V0E 1V0

**PROPERTY SIZE:** 0.120 hectares

**ZONING:** Highway & Tourist Commercial (C.2)

**O.C.P DESIGNATION:** General Commercial

**PROPOSED VARIANCES:** Vary Section 404.3.b by permitting an off premise sign;  
Vary Section 404.3.b by permitting a prohibited animated sign; and  
Vary Section 404.3.f.i by reducing the setback of free standing signs from all property lines from 1 m (3.281 feet) to 0 m (0 feet).

**RECOMMENDATION:**

THAT Council authorize the issuance of a Development Variance Permit for the property legally described as Lot A, District Lot 150, Kamloops (formerly Osoyoos) Division Yale District, Plan 10556 Except Plan EPP7929 and located at 907 George Street to permit variances to the following sections of the City of Enderby Zoning Bylaw No. 966, 1987, as shown on the attached site plan and drawings:

- 404.3.b by permitting an off-premise sign;
- 404.3.b by permitting an animated sign; and
- 404.3.f.i by reducing the setback of free standing signs from all property lines from 1 m (3.281 feet) to 0 m (0 feet).

**BACKGROUND:**

This report relates to an application for a Development Variances Permit for the property located at 907 George Street. The applicant is proposing to erect an off premise, free standing animated sign in the



northwest corner of the subject property and would be sited such that the setback distance from a property line would need to be reduced. The issuance of a Development Variance Permit is therefore required in order to authorize the issuance of a Building Permit for the proposed development.

### Site Context

The subject property is located on the southern corner of the intersection of Highway 97A (George Street) and Mill Avenue. The property is owned by 172965 Ltd. (Imperial Oil) with the City of Enderby having a lease of occupation. The property is currently vacant of any buildings or structures and is used as a public parking lot. A small portion of the property in the southwest corner is paved while the remainder of the property is a gravel standard. An 18-24" planter bed is located along the western property line of the subject property. Access to the property is gained via a laneway off of George Street as well as an entrance off of Mill Avenue in the north end of the property. The subject property is zoned Highway and Tourist Commercial (C.2) and is designated in the Official Community Plan as General Commercial. The properties to the north are zoned Highway & Tourist Commercial (C.2) and Residential Apartment and Multi-Family (R.3) and are designated in the Official Community Plan as General Commercial. The properties to the east and South are zoned Assembly, Civic, and Public Service (S.1) and General Commercial (C.1) and are designated in the Official Community Plan as Institutional and General Commercial. The properties to the west are zoned General Commercial (C.1) and designated in the Official Community Plan as General Commercial. It should be noted that the subject property does not fall within the Heritage Conservation Area.

The following orthophoto of the subject and surrounding properties was taken in 2004:



## The Proposal

The applicant is proposing to erect an off premise, free standing animated sign in the northwest corner of the subject property. The sign will be double sided and will display full colour messaging to both northbound and southbound traffic. The face of the sign is 2.44 m (8 feet) wide by 1.52 m (5 feet) tall with approximately 50% of the sign face being used to display digital messaging and the other 50% being used to display a community brand. The sign will be placed upon a 2.44 m (8 feet) tall pedestal and will sit upon a concrete foundation that will be located 0 m from the western property line; this will result in an aerial encroachment of approximately 0.013 m (0.5 feet) onto the Ministry of Transportation and Infrastructure (MOTI) right-of-way. The sign will include wi-fi technology which will allow the applicant to update messaging for the sign from inside Enderby City Hall.

The applicant has received written approval from Imperial Oil for the City to install a concrete foundation and erect a free standing animated sign. The applicant has also received a Setback Permit from MOTI which permits a 0 m setback from the MOTI right-of-way for the concrete foundation, along with an aerial encroachment.

## **ZONING BYLAW:**

The subject property is zoned Highway & Tourist Commercial (C.2) which permits accessory buildings and structures, accommodation, assembly and civic use, public service, food service, retail sales, service repair and rental, transportation facilities, educational facilities and professional studios, entertainment and recreational facilities, and office and commerce facilities.

Section 404 of the Zoning Bylaw outlines the provisions for signs. Section 404.3.b states:

Notwithstanding the provisions of Subsection 3.a above, the location of the following signs on any parcel of land is expressly prohibited:

- Animated signs
- Billboards
- Flashing signs
- Off premise signs
- Portable/temporary signs
- Roof signs

An animated sign is defined as a sign which includes sound, action, or motion. A flashing sign is defined as a sign which is partially or wholly illuminated by an intermittent light source and specifically excludes public service signs displaying time, temperature, etc. Off-premise signs are defined as signs which advertise or direct attention to a product, service, place, activity, person, institution, or business not sited on the same lot and specifically excludes signs advertising product, service, place, activity, person, institution, or business located on a parcel that is owned by the owner of the parcel on which the sign is located.



Furthermore, Section 404.3.f.i requires all free standing signs to be located no less than 1 m (3.281 feet) from all property lines.

As the proposal involves the erection of an off-premise, animated sign which is located less than 1 m (3.281 feet) from a property line, variances are required.

#### **REFERRAL COMMENTS:**

The application was referred for comment to the City of Enderby Public Works Manager, Building Inspector, Fire Chief, and the Ministry of Transportation and Infrastructure.

The Ministry of Transportation and Infrastructure noted that as they have already provided a setback permit for the proposed sign, they have no further concerns with the proposal.

No other comments were received in response to the referral.

#### **DISCUSSION**

It is recommended that the subject Development Variance Permit application be approved as it will provide a benefit to the community and it is not anticipated that the proposed sign will negatively impact the use and enjoyment of the subject and neighbouring properties. Given the distance that the sign is setback from Mill Avenue, coupled with the height of the sign, it is not anticipated that the proposed location of the sign will negatively impact the sight lines of motorists gaining access onto Highway 97A via Mill Avenue. Furthermore, the proposed location of the sign will not block motorist's views of any existing businesses within the area. Although animated signs could potentially distract people while driving their vehicles, the Setback Permit issued through MOTI has a set of conditions related to the formatting of messaging for the sign in order help to mitigate any potential impacts. These conditions include:

- The minimum display duration should be 8 seconds before switching to another display.
- The transition between successive displays should appear seamless and be imperceptible to approaching drivers. The interval between successive displays should be less than or equal to 0.1 second. No visual effects of any kind (such as fade, dissolve, or animation) should be used during the transition.
- Message sequencing refers to when a single message or advertisement is divided into segments and presented over two or more successive display phases on a single electronic billboard or across two or more billboards. Advertising of this nature is based on the premise of capturing and holding the viewer's attention throughout the time or distance needed to complete the message. Electronic billboards must not use message sequencing over successive display phases on a single electronic billboard.
- The brightness of electronic billboards should be a maximum of:
  - 280 cd/m<sup>2</sup> during night time
  - 5000 cd/m<sup>2</sup> during daytime



- **NO animation, flashing, movement, or appearance of movement is allowed.**

The proposed signage will also enhance the communication between the City of Enderby, its residents, and tourists. The sign will facilitate marketing of community events, programs, and news in a timely and efficient manner. Lastly, Development Variance Permits have been issued for similar animated digital signs at AL Fortune Secondary School and MV Beattie Elementary School.

#### **SUMMARY**

The applicant is proposing to erect a 2.44 m (8 feet) wide by 1.52 m (5 feet) tall off-premise, free standing digital sign in the northwest corner of the subject property located at 907 George Street. In order to permit the sign, variances are required to permit an animated sign, an off-premise sign, and a sign located less than 1 m (3.281 feet) from a property line. It is recommended that upon consideration of adjacent land owner's comments, Council approve the requested variances as the sign will provide a benefit to the community by improving communication between the City of Enderby, its residents, and tourists. Overall, it is not anticipated that the proposed variances would negatively impact the use and enjoyment of the subject and neighbouring properties.

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**Prepared By:**



Kurt Inglis, Planning Assistant

**Reviewed By:**



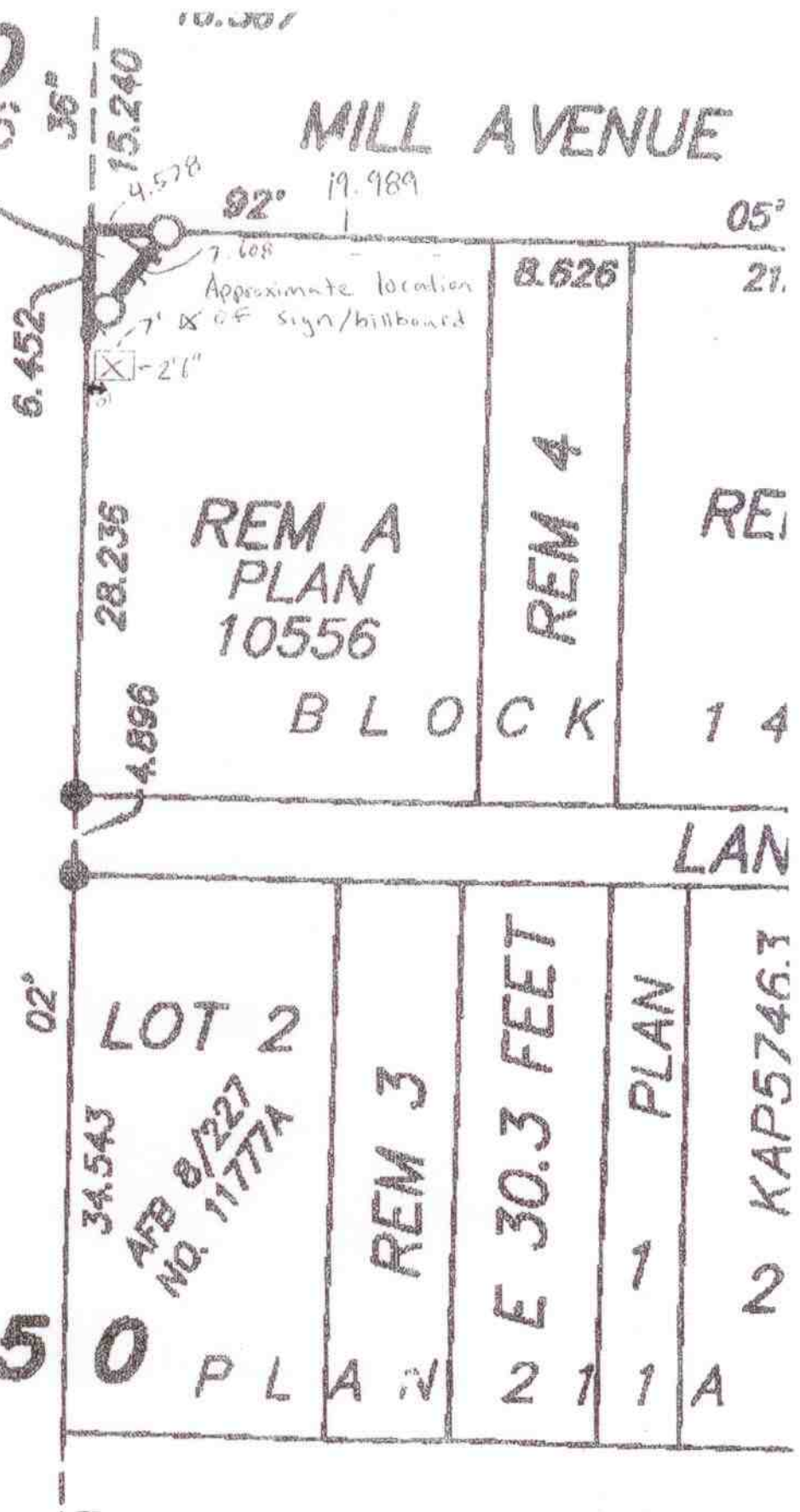
Tate Bengtson, Chief Administrative Officer

**ED AS ROAD**  
**A PLAN 10556**  
 14.8m<sup>2</sup>

**MILL AVENUE**

REM 20  
 K 6  
 PART 20  
 2 1 1 A  
 19  
 DL

HIGHWAY 97A



REM A  
 PLAN  
 10556

8.626

REM 4

BLOCK 14

LOT 2

34.543  
 AFB 8/227  
 NO. 1177A

REM 3

E 30.3 FEET

PLAN

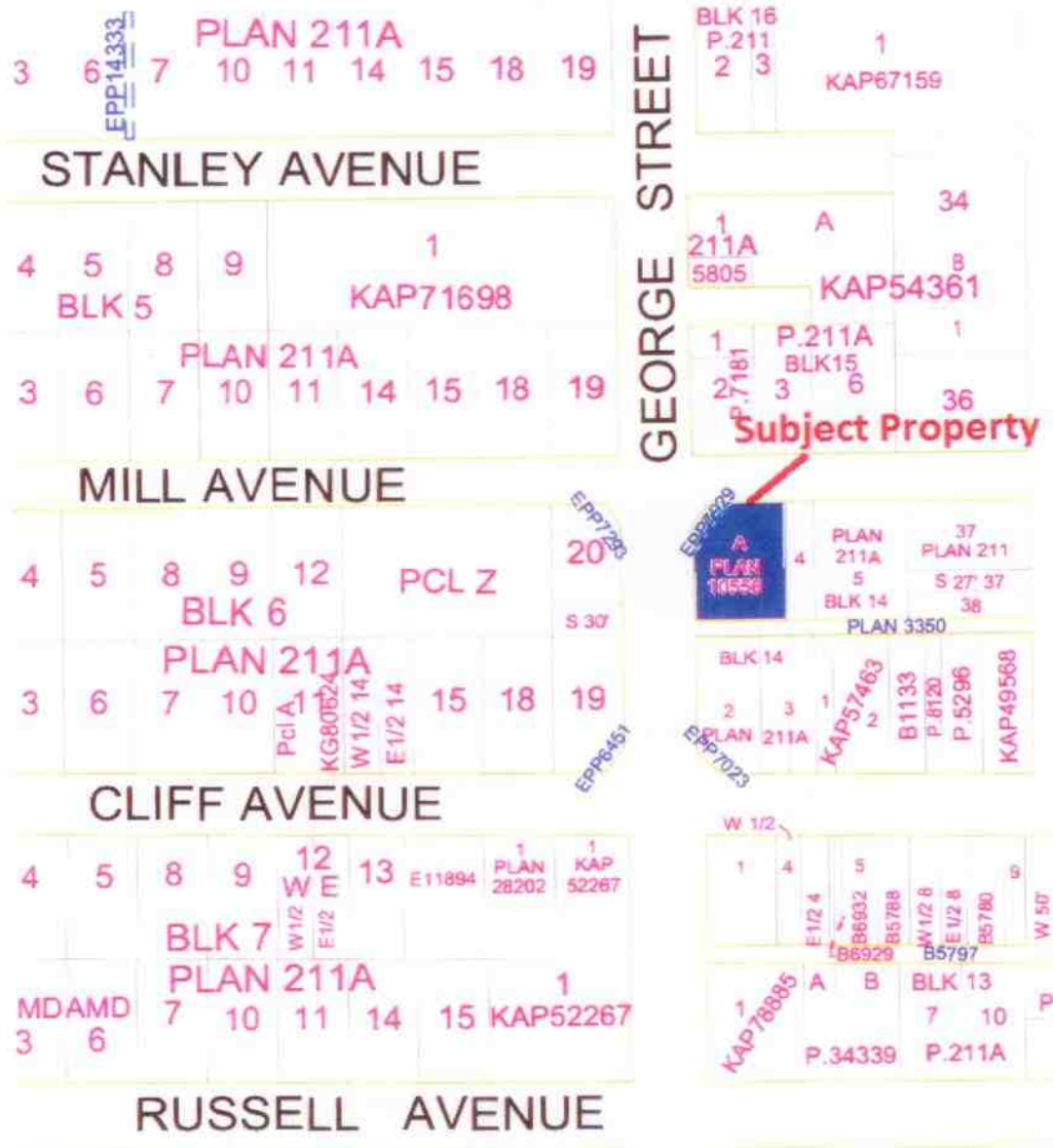
2 KAP5746.3

150

PLAN 2 1 1 A

THE CORPORATION OF THE CITY OF ENDERBY  
 DEVELOPMENT PERMIT APPLICATION  
 SUBJECT PROPERTY MAP

File: 0004-14-DVP-END  
 Applicant: City of Enderby  
 Location: 907 George Street, Enderby, BC





# ED AS ROAD

A PLAN 10556

14.8m<sup>2</sup>

# MILL AVENUE

REM 20

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K 6

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PART 20

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2 1 1 A

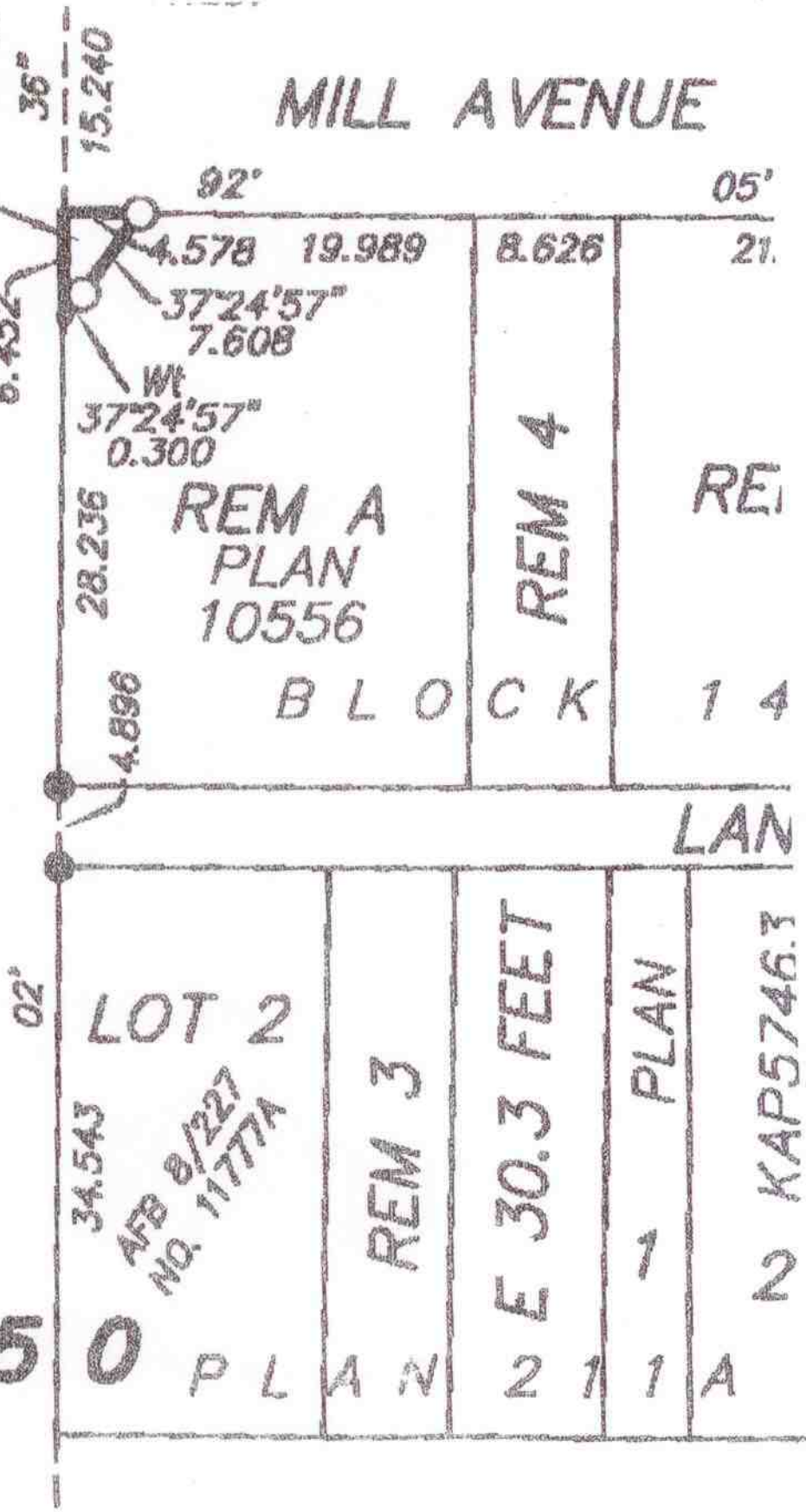
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19

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DL

HIGHWAY 97A



Please be advised that the pedestal will be 8' in height, giving the sign a total height of 13'.



8'

5'

86"

36"

USB Box

28"

TekStar - COLOR  
20mm 32x112  
CABINET SIZE: 5' x 8'



TekStar-Full Color 20mm  
32x112 CAPABILITIES

Approved as shown. \_\_\_\_\_ date \_\_\_\_\_ 1. \_\_\_\_\_  
 Approved with listed changes \_\_\_\_\_ date \_\_\_\_\_ 2. \_\_\_\_\_  
 x \_\_\_\_\_ date \_\_\_\_\_ 3. \_\_\_\_\_



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45 YEARS of Excellence

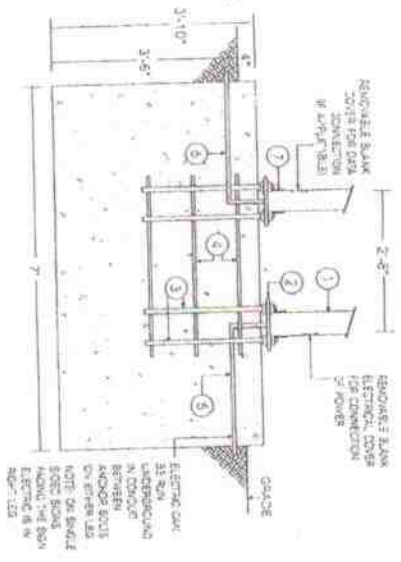
PH. 1-800-237-3928 FAX 1-800-485-4280

AMERICA'S PREMIER SIGN COMPANY  
 DUE TO THE PHYSICAL LIMITATIONS OF THE PAPER AND INK BASED PRINTING PROCESS THIS CUSTOM ARTWORK IS NOT INTENDED TO PROVIDE AN EXACT MATCH BETWEEN INK, VINYL, PAINT OR LED COLOR. ARTIST'S RENDERING OF BRICKWORK, MASONRY AND LANDSCAPING IS NOT INCLUDED IN THE PROPOSAL. ANY MEASUREMENTS SHOWN ARE APPROXIMATIONS. DIMENSIONS OF FINAL PRODUCT MAY VARY. LED IMAGES SHOWN ARE SIMULATED TO REPLICATE RESOLUTION FROM OPTIMUM VIEWING DISTANCE.

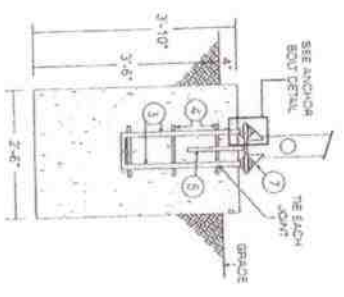
5/8"=1" SK.# 793272-1 CUST.# 3036989 4.10.2014 CA/JHYDE PROPOSAL- ORIGINAL DESIGN DO NOT DUPLICATE

# FOOTING DETAIL

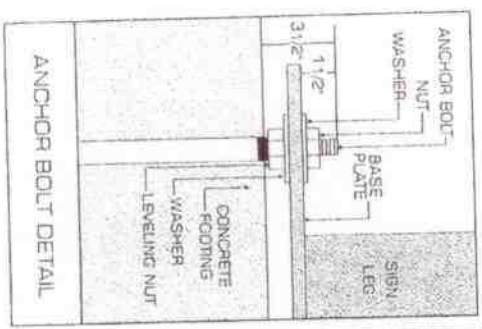
MODEL: TekStar 48  
 Leg Height: 7'-1" to 8' Leg Width: 2'-8" with Dowling  
 Wind Load: 120 mph



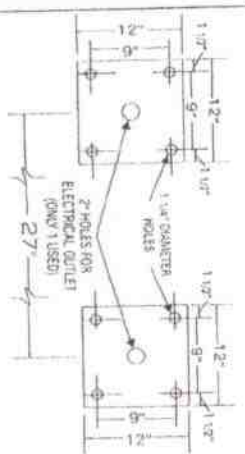
FRONT VIEW  
 Scale: 3/8" = 1'



CROSS SECTION  
 Scale: 3/8" = 1'



ANCHOR BOLT DETAIL



BASE PLATE DETAIL  
 Scale: 3/4" = 1'

**FOOTER SPECIFICATIONS**

- PROVIDE 1 HOLE
- 3'-6" DEEP x 7' LONG x 2'-6" WIDE
- LESS THAN 2.5 CUBIC YARDS OF 3 000 PSI CONCRETE NECESSARY

1. SIGN LEG, 5" x 5" x 3/8" STEEL TUBE
2. BASE PLATE (WELDED TO LEG AT FACTORY)
3. 1" x 3/8" ANCHOR BOLTS, 8 REQUIRED (TAPE THE THREADS OF THE ANCHOR BOLTS FOR PROTECTION AGAINST SAND AND CEMENT)
4. #5 REBAR OR BETTER, TIED AT EACH JOINT (SUPPLIED BY CUSTOMER)
5. CONDUIT (SUPPLIED BY CUSTOMER)
6. DATA CABLE (IF APPLICABLE)
7. 4" x 4" x 3/8" STEEL GUSSETS (ELECTRIC, REFER TO QUOTE SHEET)

**Stewart**  
 AMERICA'S PREMIER SIGN COMPANY  
**J. M. STEWART CORPORATION**  
 2201 CANTU CT. SUITE 215  
 SARASOTA, FL 34231

J.M.S. TEMPLATE MUST BE USED TO SET ANCHOR BOLTS INTO CONCRETE

Drawn By CGD	Date 8-27-12	Drawing # FITKST-48-NC 71" TO 8'	Sketch #	Customer #	Customer Name	Customer Address
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237 Fourth Avenue S.W.  
Calgary, Alberta  
Canada T2P 0H6  
Tel: (403) 237-4481  
Fax: (403) 237-2119  
june.a.walker@esso.ca

March 25, 2014

Corporation of the City of Enderby  
P.O. Box 400  
619 Cliffe Avenue  
Enderby  
BC V9E 1V0  
Attn: Barry Gagnon, Chief Administrative Officer

Dear Mr Gagnon

Re: 88006440 – Mill Street, Enderby, BC  
License Agreement

Further to the License Agreement dated 11<sup>th</sup> Day of September 2008 and your recent request for approval to install a concrete slab foundation and billboard installation, we write to confirm that Imperial Oil have no objection to this request subject to the following conditions:

1. The concrete slab foundation is to be installed in the location as per the attached plan and the City of Enderby will ensure that no monitoring wells are damaged during the installation.
2. Once a date for installation of the concrete slab foundation is known, Imperial Oil will be contacted to arrange for their consultants and/or maintenance contractors to be on site during the installation if required.
3. The concrete slab foundation will be installed and removed at no cost to Imperial Oil Limited.
4. If notice of termination is provided by Imperial Oil Limited, the concrete slab foundation will be removed within the required termination notice period as per the terms of the License Agreement.

Sincerely,

June Walker  
Commercial Coordinator

Agreed By:

Corporation of the City of Enderby

Dated:

April 16/2014

THE CORPORATION OF THE CITY OF ENDERBY

MEMO

To: Tate Bengtson, Chief Administrative Officer  
From: Kurt Inglis, Assistant Corporate Officer and Planning Assistant  
Date: May 14, 2014  
Subject: Knoll Neighbourhood Plan Adoption

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**Recommendation**

THAT Council adopts the revised Knoll Neighbourhood Plan.

**Background**

At the regular Council meeting of April 7, 2014, Council received a memo titled 'Knoll Neighbourhood Plan' with a recommendation to adopt the attached Knoll Neighbourhood Plan.

Council resolved to amend the Knoll Neighbourhood Plan by rewording item 3.b, but there was never a formal resolution to adopt the Plan. Due to this oversight, the revised Knoll Neighbourhood Plan is being presented back to Council for adoption.

Since the Knoll Neighbourhood Plan was presented to Council on April 7, 2014, minor alterations have been made to the conceptual map within the Plan as per discussions with a Knoll developer.

Respectfully Submitted,

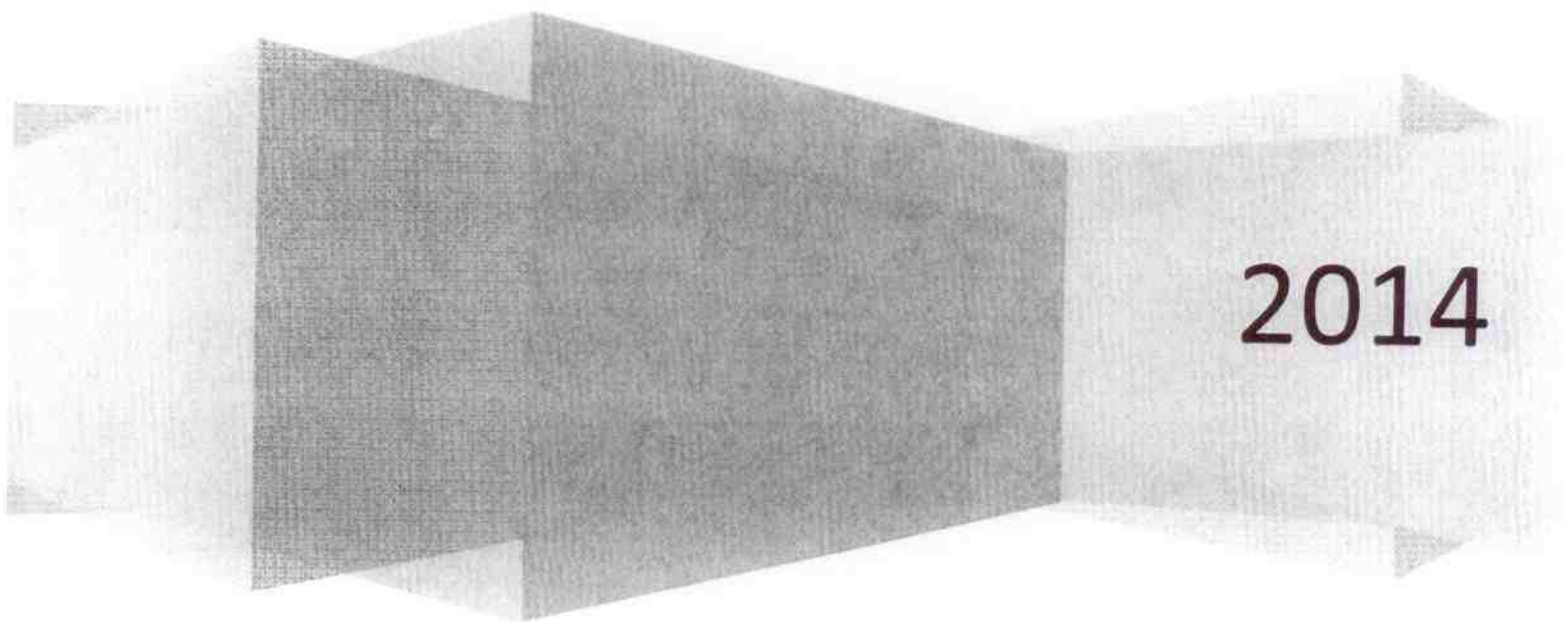


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Kurt Inglis, Assistant Corporate Officer and Planning Assistant

**City of Enderby**

# **Knoll Neighbourhood Plan**





**1. Description**

*The Knoll Comprehensive Development Area of Enderby consists of approximately 83 ha of land on a prominent rise in the City's southwest sector as shown on **Schedule "B"**. Along the easterly edge of the Knoll, a steep slope rises west of Princess Avenue. From the crest of this slope the land rises moderately to the west in a series of undulating hills. An underground natural gas line and overhead Hydro transmission lines run in a north/south direction across the easterly slopes of the Knoll. The westerly side of the Knoll is defined by the City boundary and overlooks the Gunter-Ellison Road valley. The City boundary also defines the south limit of the Knoll and corresponds to the north boundary of the Splatsin I.R. No. 2. Relatively recent residential development along Johnston Avenue defines the Knoll's north boundary. Currently, the Knoll is a largely undeveloped area with substantial forest cover and meadows, including approximately 11 ha within the Agricultural Land Reserve.*

**2. Policy Context**

*The North Okanagan Regional Growth Strategy (adopted in 2011) provides a common framework for regional and local planning and the Knoll Comprehensive Development Area is an opportunity to interpret and implement the Regional Growth Strategy within the Enderby context. The Regional Growth Strategy focuses on developing healthy and sustainable communities for all residents, addressing environmental issues, encouraging a robust and diverse economy, conserving resources and enhancing natural and built environments. The 10 'Smart Growth' principles form the basis of the Strategy and are the foundation that guides implementation.*

*In 2012, the City of Enderby undertook an Integrated Community Sustainability Planning (ICSP) process which engaged a broad cross section of citizens in consultation opportunities, presentations, stakeholder meetings and workshops. This project generated an assessment of Enderby's current reality and identified a desired future for Enderby in relation to environmental, social and economic sustainability. The Knoll neighbourhood was specifically identified in the ICSP as an opportunity to "set the sustainability bar" for development within the community.*

*Since 1995, the Official Community Plan has identified the Knoll as the primary area for future growth within the City.*

*In keeping with the principles of the Regional Growth Strategy, the desired future identified within the ICSP and the longstanding objectives of the Official Community Plan, the intent of the Knoll Comprehensive Development Area policies are to create a neighbourhood with a more sustainable form which in turn will preserve the natural environment, foster a healthy, safe built environment for residents, and reduce costs related to infrastructure development, maintenance, and replacement. It is intended that by allowing for a mix of residential densities, neighbourhood-oriented commercial development, and other compatible land uses that people of all walks of life will find residential options that meet their needs, lifestyles, and income levels. Allowing for compatible commercial uses within this new neighbourhood is not intended to compete*

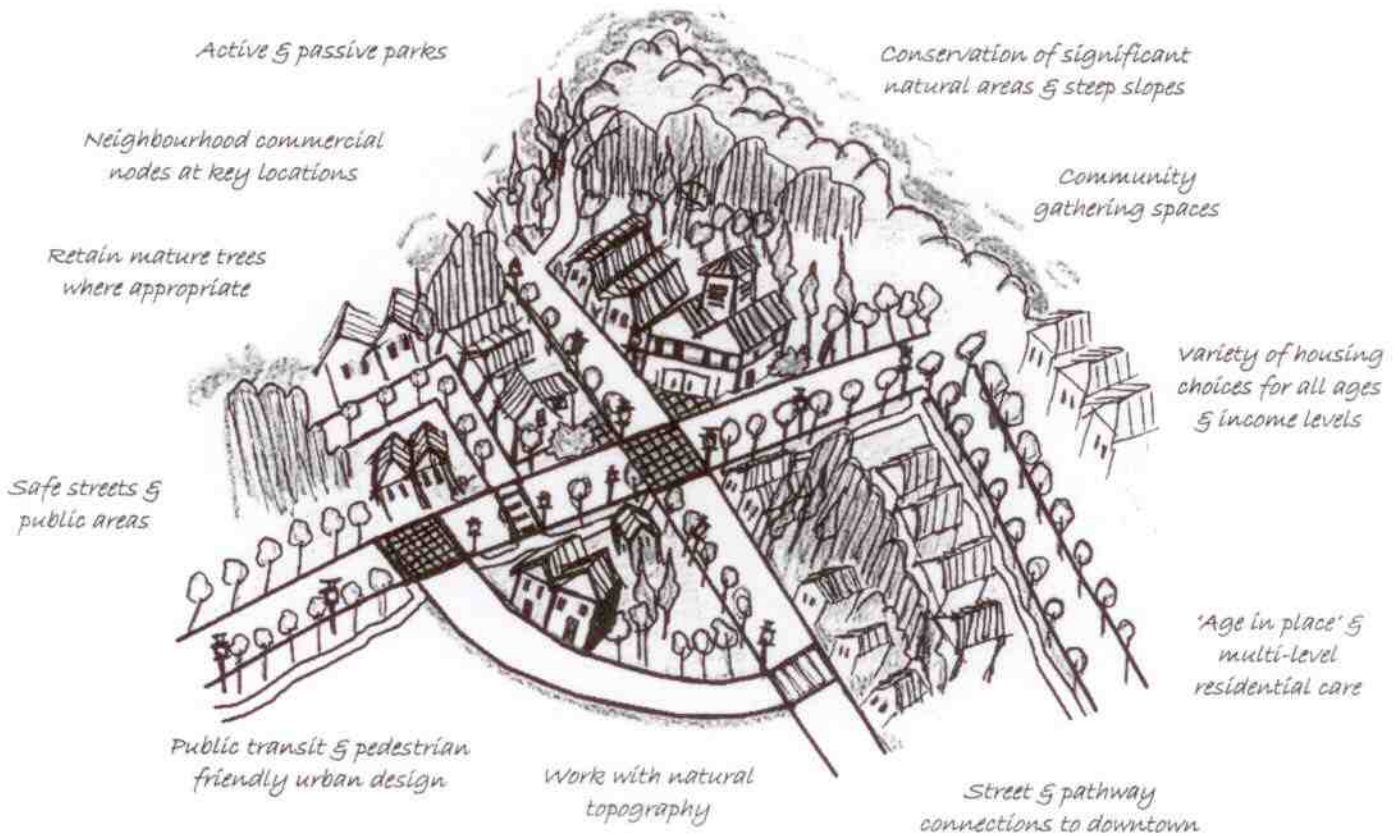
75

with business in Enderby's downtown core but given the number of units at build out, it is anticipated that neighbourhood type commercial uses will be required.

Interconnectivity is crucial to facilitating mobility and is part of successful planning and development. On-street and off-street pedestrian and cycling amenities are envisioned to provide opportunities for outdoor recreation and non-vehicular transportation links within the Knoll neighbourhood and to destinations beyond. Public spaces in the Knoll neighbourhood may include a combination of natural open space, active and passive parks as well as community gathering places such as village greens, squares or plazas that will instil a sense of community. Opportunities abound within the Knoll to protect environmental and ecological features which provide for wildlife habitat, improved air quality, visual and noise buffers, storm water management and erosion control.

It is anticipated that the type and pattern of future land use within the Knoll Comprehensive Development Area will be influenced by the demographic and economic characteristics of the community and will reflect the desired future for Enderby as identified within the ICSP.

The following diagram provides an illustration of sustainable neighbourhood design elements that should be considered when planning within the Knoll Comprehensive Development Area:





3. **Objectives**

*Council has the following objectives for the Knoll Comprehensive Development Area:*

- a. *To instil a strong sense of community and foster a high quality of life for residents of the Knoll neighbourhood.*
- b. *To achieve a "complete neighbourhood" meaning the Knoll will have opportunities for working, recreating, learning and living.*
- c. *To create a neighbourhood that is unique and identifiable in form and character, allowing for nodes of development which mix residential, neighbourhood commercial, health care, education, recreation and other compatible uses that would serve primarily a local need within a village-scale context.*
- d. *To design a streetscape which is oriented towards the pedestrian and provides the necessary amenities which make the Knoll a safe, comfortable and convenient space for residents to walk, cycle, recreate, and interact.*
- e. *To support the creation of mixed-use nodes and residential areas that facilitate non-vehicular transportation, promote personal security, positive social interaction, and contribute towards a more sustainable community.*
- f. *To encourage innovative development that is suitable to a broad range of age groups, income levels, individuals, and households.*
- g. *To minimize the use of and the dependence on the automobile and maximize opportunities for walking, cycling or using other non-vehicular modes of transportation through a multi-modal transportation system which can safely and comfortably meet many typical daily needs within the Knoll neighbourhood.*
- h. *To achieve energy and water use efficiency and greenhouse gas emission reduction by utilizing design and construction methods informed by LEED-ND principles within any development proposal.*
- i. *To protect high value ecological habitats.*
- j. *To reduce the life-cycle cost of municipal services and infrastructure.*
- k. *To set a regional precedent for socially, economically and environmentally sustainable design at the site, neighbourhood, and community level.*
- l. *To establish an integrated parks, open space, trail, and multi-use pathway network to facilitate non-vehicular access within the Knoll area, to the downtown core, and to other destinations in and around Enderby.*



4. **Policies**

*Council has the following policies for the Knoll Comprehensive Development Area:*

General

*Provide flexibility to development proponents to bring forward creative ideas and designs to achieve the defined objectives. Phased Development Agreements and Multi-family Zoning will be utilized to provide both certainty and flexibility for the developer and the community.*

Hazard Mitigation

*Avoid developing hillsides of greater than 30% slope unless the lands are certified as safe for the intended use by a Professional Engineer or Professional Geoscientist who is registered or licensed under the Engineers and Geoscientists Act of British Columbia with specific expertise in geotechnical engineering.*

Siting

*Establish covenants to control the locations of residences to ensure that they can be integrated into future, denser development schemes and do not hinder infill potential.*

Residential

- a. *Residential development within the Knoll Comprehensive Planning Area designated on **Schedule "B"** may be permitted at gross densities ranging from 12 to 70 units per ha.*
- b. *Housing for the community's seniors within this designation, to a maximum of 15% of the total allowable dwelling units, will be permitted without being included in the density calculation.*
- c. *Pursuant to Section 904 of the Local Government Act, Council may approve a bonus density for residential development within the Knoll Comprehensive Development Area where an application for amendment to the Zoning Bylaw or a Phased Development Agreement proposes the following community or site amenities in a manner acceptable to Council:*
- d. *Dedication of park land over and above the 5% required pursuant to Section 941 of the Local Government Act.*
  - i. *Provision of 'Greenways' where their location generally conforms with the Knoll Conceptual Plan.*
  - ii. *Provision of usable public open space, such as civic squares, plazas, and commons.*
  - iii. *Long-term security and management of significant areas of mature, natural vegetation, wildlife movement corridors, and/or areas of wildlife*

- habitat where such areas have been identified by a qualified environmental professional.*
- iv. *The provision of substantial buffer zones adjacent to major roads identified on Schedule "C".*
  - v. *The provision of agricultural tree farms to supply biomass fuel to district energy system(s).*
- e. *The Knoll should be developed with a diversity of housing types, both owner-occupied and rental, to accommodate a variety of income levels and housing needs including housing that is affordable, attainable, is family oriented, suitable for young couples, singles, 'empty nesters', accessible to people with disabilities or other special needs, and housing that allows for seniors to 'age in place'.*
- f. *To encourage development proponents to provide, for affordable, attainable or special needs housing, a minimum of 1% of the gross area of each parcel subject of an application for amendment to the Zoning Bylaw or a Phased Development Agreement. A Phased Development Agreement may provide for reduced road dedication to offset dedication as cash in-lieu for this purpose. Pursuant to Section 904 of the Local Government Act, the Council may apply a bonus density for residential purposes where a development proponent exceeds this standard.*
- g. *Residential development types may include:*
- i. *Single family and single family with a secondary suite*
  - ii. *Two family*
  - iii. *Three family*
  - iv. *Four Family*
  - v. *Row Housing*
  - vi. *Multi-family (3 or more dwelling units per lot)*
  - vii. *Affordable housing<sup>1</sup>*
  - viii. *Attainable housing<sup>2</sup>*
  - ix. *Special needs housing including assisted living, supportive housing, transitional housing, and residential care homes*

<sup>1</sup> Housing is considered affordable when a household can spend less than 30% of their income on accommodation.

<sup>2</sup> Attainable housing is market housing that is affordable to households with a range of incomes, but most often at the low to moderate end of the scale, and that is provided without ongoing senior government subsidy (as cited in City of Vernon, Attainable Housing Strategy, December 2007).

Commercial & Mixed-Use

- a. *Mixed use development is supported within the Knoll Comprehensive Development Area*
- b. *Commercial development considered appropriate for the Knoll area would include personal and professional services which would primarily serve the needs of nearby residents and persons working within and near the Knoll neighbourhood such as a convenience store or coffee shop and hairdresser or barber shop.*
- c. *Subject to the approval of Council, neighbourhood commercial or mixed-use development proposed for the Knoll Comprehensive Development Area may be implemented through zoning which is consistent with, and aims to achieve, the objectives of the Knoll Comprehensive Development Area.*

Transportation

- a. *Multi-use pathways should be integrated with the City of Enderby trail network to provide linkages and connectivity to parks, mixed use nodes, and residential areas within the Knoll as well as to transportation networks throughout the community.*
- b. *The Knoll neighbourhood should include a variety of transportation modes and routes to provide alternative options to single occupant vehicle dependency, to ensure ready access to public transit or active transportation (human powered), to reduce greenhouse gas emissions, to reduce the lifecycle cost of developing and maintaining roads, and to promote safe, healthy, non-motorized transportation methods.*
- c. *Ensure that transit stops, when provided, are convenient, safe, and sheltered, and that access to and from transit stops is along safe and convenient sidewalks, or off-street walkways.*

Urban Design

- a. *Buildings and structures should be designed in harmony with the environment and positive design and landscaping qualities of nearby development.*
- b. *Developments should include site appropriate landscaping and buffers aimed at protecting neighbouring properties from negative visual or privacy impacts and providing opportunities for on-site storm water infiltration.*
- c. *Protect or provide mature trees along transportation corridors.*
- d. *Application of the principles of Crime Prevention Through Environmental Design (CPTED) is encouraged for site and building design, lighting, landscaping and other elements. In particular, consideration should be given to:*



- i. *Adequate lighting of all parking and pedestrian areas;*
- ii. *Primary and secondary building entries should be clearly identifiable and well lit;*
- iii. *Exteriors of buildings should be adequately lit and have no hidden or obscured alcoves, bays, or other areas that could provide hiding places.*
- iv. *Landscaping and loading areas should not create hiding places;*
- v. *There should be clear visibility from within residences, offices, shops and other buildings to parking areas, pedestrian routes, and the street to increase safety through casual surveillance; and*
- vi. *Traffic calming measures where appropriate.*

Sustainability

- a. *Development should optimize energy and water efficiency, utilize green building design techniques, and maximize public security and safety.*
- b. *Where feasible, to utilize on-site or community renewable energy generation systems to supply electrical, heating, and cooling needs to buildings and other structures. Renewable and alternative energy sources include, but are not limited to: geothermal energy (heat loops and wells), wind (turbines), low-impact hydropower, passive solar heating (collectors, photovoltaic panels); fuel cells; heat energy extracted from air (heat pumps), biomass, bio-gas and wastewater effluent.*
- c. *To minimize water consumption and to help maintain capacity in the City's storm sewer system, a storm water management plan addressing pre- and post-development flows should ensure that there is full storm water retention and controlled release. Insofar as possible, storm water management systems should avoid utilizing piped solutions and should minimize the amount of impervious surfaces while maximizing the potential to capture, infiltrate, and filter rain water on site through the implementation of bio swales, detention ponds, rain gardens or any other relevant site design or landscaping measure. The use of rain water for irrigation and toilet flushing wherever possible is encouraged.*
- d. *Maximize the use of permeable pavers, or open-grid paving, on both public and private lands such as on private access driveways, low traffic streets and lanes, public plazas, patios, courtyards, school yards, parking areas, and pathways.*

Natural Open Space & Parks

- a. *An owner of land being subdivided is encouraged to provide greater than 5% of the land being subdivided as open space, which may include, but is not limited to*

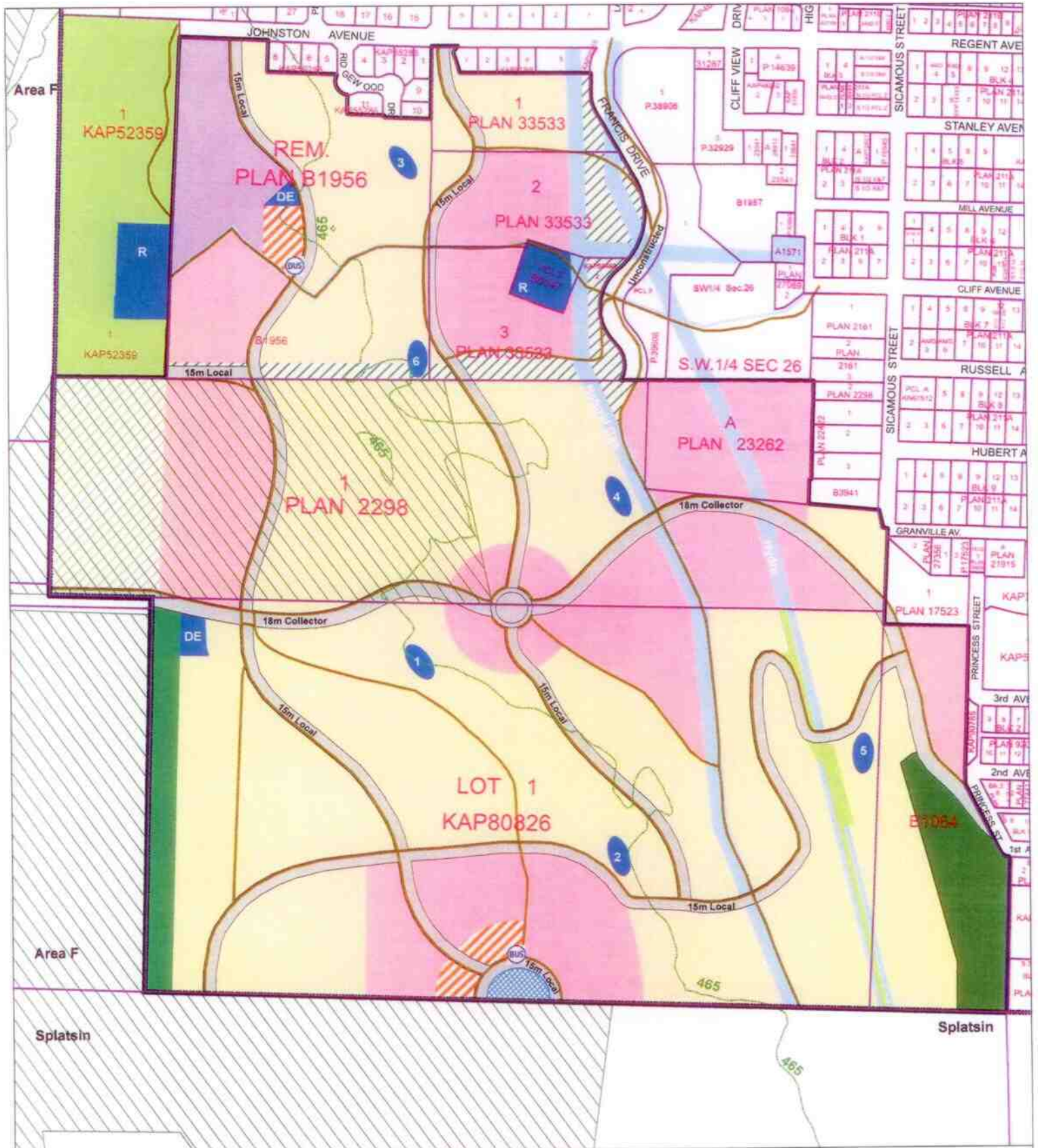
*sensitive ecosystems and habitat features for environmental protection purposes, parkland, greenway trails, etc.*

- b. *Parks within the Knoll neighbourhood may include areas for environmental conservation, active recreation, and passive leisure activities.*

Community Gardens

- a. *Community gardens are encouraged within the landscaped area of private land or as part of public park land.*





**City of Enderby - Knoll Comprehensive Development Area**

- |                                     |  |                                       |                   |                            |
|-------------------------------------|--|---------------------------------------|-------------------|----------------------------|
| Single Family Residential (SF)      | Utility (U)                            | Future Park (FP)                      | Multi-use Pathway | DE - District Energy       |
| Mixed Use (MU)                      | Hydro / Natural Gas                    | Existing Park (P)                     | ALR               | R - Reservoir              |
| Multi Family Residential (MF)       | Agri-Forest / Community Garden (AFICG) | Future Conservation Area (FCA)        | Knoll Boundary    | Transit Stop               |
| Residential Care / Education (RC/E) | Civic Plaza (CP)                       | Assembly, Civic, & Public Space (S.1) | City Boundary     | Storm Water Retention Pond |

Disclaimer: This map was compiled by SDAC, using data believed to be accurate. However, a margin of error is inherent in all maps. This product is distributed without warranties of any kind, either expressed or implied, including but not limited to warranties of suitability for particular purposes or use.



April 25th, 2014  
Printed To Scale When 18" x 24"

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**THE CORPORATION OF THE CITY OF ENDERBY**

Report of a **Public Hearing** held on Monday, May 5, 2014 at 4:30 p.m. in the Council Chambers of City Hall.

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Present: Mayor Howie Cyr  
Councillor Tundra Baird  
Councillor Brad Case  
Councillor Raquel Krust  
Councillor Beryl Ludwig  
Councillor Greg McCune

Chief Administrative Officer – Tate Bengtson  
Chief Financial Officer – Jennifer Bellamy  
Assistant Corporate Officer and Planning Assistant – Kurt Inglis  
Recording Secretary – Bettyann Kennedy  
Press and Public

---

Mayor Cyr read the rules of procedure for the public hearings and introduced the following Bylaws:

- a. Zoning Bylaw Text Amendment Bylaw No. 1536, 2014  
A bylaw to amend the City of Enderby Zoning Bylaw No. 966, 1987 in order to prohibit Medical Marihuana Production Facilities in all zones throughout the City of Enderby and to regulate Medical Marihuana Facilities when located within the Agricultural Land Reserve

The Planning Assistant provided an overview of the background information related to the Amendment Bylaw.

The Mayor called three times for members of the public to make representations respecting the bylaw. No speakers came forward.

- b. Zoning Bylaw Text Amendment Bylaw No. 1538, 2014  
A bylaw to amend the City of Enderby Zoning Bylaw No. 966, 1987 in order to broaden residential uses within the General Commercial (C.1) and Highway and Tourist Commercial (C.2) zones

The Planning Assistant provided an overview of the background information related to the Amendment Bylaw.

The Mayor called three times for members of the public to make representations respecting the bylaw. No speakers came forward.

The Public Hearing closed at 4:38 p.m.

Pursuant to Section 890 (7) of the *Local Government Act*, I, \_\_\_\_\_, hereby certify this to be a fair and accurate report of the Public Hearings held on January 13, 2013.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date



Regional District of North Okanagan  
 Building Permit Detail Report for Apr 2014

For Area: Enderby

Day:	Permit:	Owner:	Construction Location:	Builder:	Permit Desc:	Value:	Cumulative
Area:	Cost:				Units:	Fir Area:	TOTAL:
04	14-0074-END-BP \$1,127.00	KETELAARS, JOSEF and KETELAARS, LINDALOU	Lot, Plan KAP43526, Twp 18, Sec 26, D/L 1305 LAWES ST Roll: 208 00419-102		ACCESSRY BLDG (GARAGE) Unit 0	\$60,000.00 Sq.M	\$60,000.00
Enderby							
04	14-0073-END-BP \$6,159.00	KETELAARS, JOSEF and KETELAARS, LINDALOU	Lot, Plan KAP43526, Twp 18, Sec 26, D/L 1305 LAWES ST Roll: 208 00419-102		SINGLE FAMILY DWELLING Unit 1	\$416,000.00 Sq.M	\$476,000.00
Enderby							
11	14-0101-END-BP \$225.00	BURTON, KENNETH	Lot 1, Plan KAP27963, Twp, Sec, D/L 150, 408 HOWARD AVE Roll: 208 00566-002	TOTAL RESTORATION SERVICES INC.	ACCESSRY BLDG (GARPORT) Unit 0	\$6,000.00 Sq.M	\$482,000.00
Enderby							

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# Regional District of North Okanagan Building Inspections Statistical Report for Apr 2014

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Class:	Electoral Areas:		Armstrong		Enderby		Lumby		Spallumcheen						
	H Units:	Permits:	Value:	H Units:	Permits:	Value:	H Units:	Permits:	Value:	H Units:	Permits:	Value:			
Residential	6	12	\$1,546,000	3	5	\$875,000	1	3	\$482,000	1	1	\$191,200	1	1	\$508,000
Residential YTD	13	33	\$3,811,180	4	7	\$1,135,000	1	3	\$482,000	4	5	\$873,500	3	7	\$1,093,580
Commercial	0	0	\$0	0	0	\$0	0	0	\$0	0	0	\$0	0	0	\$0
Commercial YTD	0	1	\$80,000	0	1	\$27,000	0	0	\$0	0	1	\$70	0	0	\$0
Industrial	0	0	\$0	0	0	\$0	0	0	\$0	0	0	\$0	0	0	\$0
Industrial YTD	0	0	\$0	0	0	\$0	0	0	\$0	0	0	\$0	0	0	\$0
Public	0	0	\$0	0	0	\$0	0	0	\$0	0	0	\$0	0	0	\$0
Public YTD	0	1	\$600	0	0	\$0	0	0	\$0	0	0	\$0	0	0	\$0
Agricultural	0	2	\$265,000	0	0	\$0	0	0	\$0	0	0	\$0	0	1	\$36,000
Agricultural YTD	0	4	\$485,000	0	0	\$0	0	0	\$0	0	0	\$0	0	3	\$110,400
<b>Tits for Month</b>	<b>6</b>	<b>14</b>	<b>\$1,811,000</b>	<b>3</b>	<b>5</b>	<b>\$875,000</b>	<b>1</b>	<b>3</b>	<b>\$482,000</b>	<b>1</b>	<b>1</b>	<b>\$191,200</b>	<b>1</b>	<b>2</b>	<b>\$544,000</b>
<b>Same Month Prev Yr</b>	<b>4</b>	<b>8</b>	<b>\$1,143,800</b>	<b>0</b>	<b>0</b>	<b>\$0</b>	<b>0</b>	<b>1</b>	<b>\$66,000</b>	<b>1</b>	<b>1</b>	<b>\$163,000</b>	<b>2</b>	<b>6</b>	<b>\$3,634,600</b>
<b>Yr to Date</b>	<b>13</b>	<b>39</b>	<b>\$4,376,780</b>	<b>4</b>	<b>8</b>	<b>\$1,162,000</b>	<b>1</b>	<b>3</b>	<b>\$482,000</b>	<b>4</b>	<b>6</b>	<b>\$873,570</b>	<b>3</b>	<b>10</b>	<b>\$1,203,980</b>
<b>Last Yr to Date</b>	<b>7</b>	<b>24</b>	<b>\$2,328,300</b>	<b>0</b>	<b>6</b>	<b>\$149,350</b>	<b>0</b>	<b>7</b>	<b>\$293,600</b>	<b>2</b>	<b>4</b>	<b>\$426,000</b>	<b>9</b>	<b>19</b>	<b>\$5,963,600</b>

**Totals for all Areas:**

Year To Date	Units	Permits	Value
Year To Date	25	66	\$8,098,330.00
Last Year To Date	18	60	\$9,160,850.00



Agenda



3301 East Pender Street, Vancouver BC, V5K 5J3 Canada  
t 604-215-4702

April 30, 2014

Mayor Cyr  
City of Enderby  
Box 400  
Enderby, BC  
VOE 1V0



Dear Mayor Cyr and Council,

On behalf of the Board of Directors, I am writing to provide a brief update on PRIMECorp, the organization responsible for oversight of the provincial police records management system, PRIME-BC.

As reported to you at this time last year, the Board of Directors has identified through its strategic planning process, three major areas of opportunity for PRIMECorp in terms of strategic, technological and financial leadership. I am pleased to report that since then, we have made significant strides in all three areas.

Chief among the steps forward was the implementation of a new management team and a new technology support infrastructure that we believe will facilitate enhanced security and service to all police agencies we serve, and also better position us to strategically plan for the future.

There has also been considerable effort undertaken to examine and reconcile PRIMECorp's past and present financial models and reporting. We have developed a future-focused financial path for PRIMECorp and it is with this financial stewardship in mind that I write to you today.

At its most recent meeting the Board of Directors approved a 2014-2015 budget, following six months of analysis, prioritization, consultation and collaboration. The budget is reflective of existing core services and sets the stage for, among other things, stable and predictable levy forecasts for funders.

Highlights:

- Zero per cent (0%) per officer levy increase in 2014-2015, which is consistent with the past four budget cycles. The per officer levy for 2014-2015 will be \$1000.
- Projected maximum three per cent (3%) per officer levy increase in 2015-2016, a portion of which will be allocated for building a reserve for system renewals.
- Forecasts of per officer levy increases of a maximum three per cent (3%) in 2016-2017 and 2017-2018.

Our goal is to provide our funders with certainty and stability with regard to projected levies so that they can be contemplated in future municipal budget cycles. Our ongoing commitment is to ensure funds are directed to the areas of PRIMECorp that will provide the highest level of service delivery of PRIME-BC, to ensure fiscal management is rooted in cost effectiveness, and to ensure that we are prepared for significant policing technology upgrades and new applications in the future.

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The Board of Directors believes the gains we have made in the past 12 months are noteworthy milestones and represent a pivotal and positive step forward for PRIMECorp and for policing in B.C. through predictable levies and responsible planning for future needs.

Priorities for PRIME Corp in 2014 include increased communication with stakeholders, evolution of the organization's governance structure and a continued emphasis on security and service. We look forward to keeping you informed on PRIME-BC, an essential policing tool for British Columbia's police forces and unique in North America.

Sincerely,



David Guscott  
PRIMECorp CEO

- Cc Deputy Chief Len Goerke, Chair, BC Association of Chiefs of Police  
Deputy Commissioner Craig Callens, RCMP E-Division  
Municipal Police Chiefs  
RCMP Detachment Commanders  
PRIMECorp Board of Directors
- Malcolm Brodie, Mayor, City of Richmond
  - Peter Milobar, Mayor, City of Kamloops
  - Dianne Watts, Mayor, City of Surrey
  - Paul Hames, Chief Constable, Central Saanich Police Department
  - David Jones, Chief Constable, New Westminster Police Department
  - John Kubat, Superintendent, RCMP
  - Norman Lipinski, Assistant Commissioner, RCMP
  - Daryl Wiebe, Superintendent, Vancouver Police Department
  - Clayton Pecknold (Board Chair), Assistant Deputy Minister, Ministry of Justice & Director of Police Services



Agenda

**THE CORPORATION OF THE CITY OF ENDERBY**

**MEMO**

To: Mayor and Council  
From: Tate Bengtson, CAO  
Date: May 8, 2014  
Subject: Legion Road Closures

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**RECOMMENDATION**

THAT Council receives and files the attached applications as approved by staff.

**BACKGROUND**

The Royal Canadian Legion Branch 98 recently submitted road closure applications for its upcoming annual events. The applications are attached to this memorandum.

As these are not first-time events and all requirements for a road closure have been met, staff have approved these applications consistent with the *Temporary Road Closures for Community Events* policy. As the Legion's insurance is not due for renewal until June 2014, a certificate of insurance will be provided at that time; the Legion has confirmed that the City of Enderby will be added as a named insured its insurance policy at the time of renewal.

Respectfully submitted,



Tate Bengtson  
Chief Administrative Officer



**Schedule A**  
**Application for a Temporary Road Closure for a Community Event**

Is this a first-time or relocated event?

Yes

No

Name of Sponsoring Organization The Royal Canadian Legion Br. #98.

Name of Contact Person Ron Surry or Dee Corea-Jacobson

Telephone or Email 250-838-9300 or 250-838-7283

Name of Event Community BBQ and Jam Session.

Date(s) of Closure June 26, 2014 - Thursday.

Start time for Closure 10:30 AM End time for Closure 4 pm

Location of Closure Belvedere St from Mill to Cliff Ave.

**Required Attachments**


- Map showing closure and emergency access route
- Petition of affected business owners (if applicable)
- Certificate of insurance (if applicable) N/A.

*not needed - We will send a letter out for all days affected.*

**Indemnity:** The applicant agrees to indemnify and save harmless the City of Enderby from and against any and all claims, including but not limited to harm, damage, injury, or loss to body or property caused by, arising from, or connected with any act or omission of the applicant or any agent, employee, customer licensee or invitee of the applicant, and against and from all liabilities, expense costs and legal or other fees incurred in respect of any such claims or any actions or proceedings brought thereon arising directly or indirectly from or in connection with the property, facilities, or services of the City. The applicant will be required to obtain and keep in force throughout the period of use insurance in a form specified by the City of Enderby unless waived in writing.

Authorized Signatory 

Date May 5/14.

Do Not Complete - For Administrative Purposes			
Approved by		Date	<u>May 8/2014</u>
Certificate of Insurance	<input checked="" type="checkbox"/> Yes	No	N/A
Map	<input checked="" type="checkbox"/> Yes	No	N/A
Petition of Affected Business Owners	<input type="checkbox"/> Yes	No	<input checked="" type="checkbox"/> N/A

Cliff Are

Drossiere

Art Gallery Twice But Nice Manu-life

Legion

Belvedere St.

CLOSED

Mill Ave.

April 25, 2014

City of Enderby  
619 Cliff Avenue  
PO Box 400  
Enderby, BC V0E 1V0

To Whom it May Concern:

The Royal Canadian Legion, Branch #98, Enderby requests a temporary Road Closure on June the 26<sup>th</sup>, 2014 from 10:30 am to 4:00 pm.

Location of closure to be Belvedere Street from Cliff Avenue to Mill Avenue for a Jam Session and Community BBQ.

Thank you in advance for your cooperation.

Kim Foster  
Office Administrator for Dee Corea-Jacobson  
Treasurer – RCL Branch #98

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"Copy" - City Hall has original on letterhead.



**Schedule A  
Application for a Temporary Road Closure for a Community Event**

Is this a first-time or relocated event?

Yes

No

Name of Sponsoring Organization The Royal Canadian Legion Br.#98.

Name of Contact Person Ron Surry or Dee Corea - Jacobson.

Telephone or Email 250-838-9300 or <sup>(250)</sup> 838-7283.

Name of Event Community BBQ and Karaoke

Date(s) of Closure June 29<sup>th</sup>, 2014 - Sunday

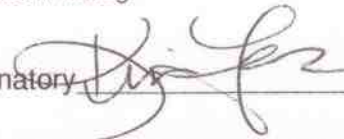
Start time for Closure 1 pm End time for Closure 5 pm.


Location of Closure Belvedere St from Cliff Ave to Mill Avenue.

**Required Attachments**

- Map showing closure and emergency access route
- Petition of affected business owners (if applicable) *N/A - a letter will be sent out to everyone on Belvedere who will be affected.*
- Certificate of insurance (if applicable) *N/A.*

**Indemnity:** The applicant agrees to indemnify and save harmless the City of Enderby from and against any and all claims, including but not limited to harm, damage, injury, or loss to body or property caused by, arising from, or connected with any act or omission of the applicant or any agent, employee, customer licensee or invitee of the applicant, and against and from all liabilities, expense costs and legal or other fees incurred in respect of any such claims or any actions or proceedings brought thereon arising directly or indirectly from or in connection with the property, facilities, or services of the City. The applicant will be required to obtain and keep in force throughout the period of use insurance in a form specified by the City of Enderby unless waived in writing.

Authorized Signatory  Date May 5/14.

Do Not Complete - For Administrative Purposes			
Approved by	<u></u>	Date	<u>May 8/2014</u>
Certificate of Insurance	<input checked="" type="radio"/> Yes	No	N/A
Map	<input checked="" type="radio"/> Yes	No	N/A
Petition of Affected Business Owners	<input checked="" type="radio"/> Yes	No	<input checked="" type="radio"/> N/A

Cliff Ave

Drugstore

Art Gallery  
Twice But Nice  
Manulife

Legion

Belvedere St.

CLOSED

Mill. Ave.

April 25, 2014

City of Enderby  
619 Cliff Avenue  
PO Box 400  
Enderby, BC V0E 1V0

To Whom it May Concern:

The Royal Canadian Legion, Branch #98, Enderby requests a temporary Road Closure on June the 29<sup>th</sup>, 2014 from 1:00 pm to 5:00 pm.

Location of closure to be Belvedere Street from Cliff Avenue to Mill Avenue for Karaoke and a Community BBQ.

Thank you in advance for your cooperation.

Kim Foster  
Office Administrator for Dee Corea-Jacobson  
Treasurer – RCL Branch #98

"Copy" – original is at City Hall on letterhead.

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**Schedule A**  
**Application for a Temporary Road Closure for a Community Event**

Is this a first-time or relocated event? Yes  No

Name of Sponsoring Organization The Royal Canadian Legion Br. #98.

Name of Contact Person Ron Surry or Dee Corea-Jacobson.

Telephone or Email (250) 838-9300 or (250) 838-7283

Name of Event Candle-light Walk in Honour of our Veterans.

Date(s) of Closure June 27<sup>th</sup>, 2014 - Friday.

Start time for Closure 6 pm End time for Closure 6:30 or 7 pm.


Location of Closure from Mill Ave to Belvedere St to Cliff Ave to Claude Street Back to Mill Ave to the Cenotaph.

**Required Attachments**


- Map showing closure and emergency access route
- Petition of affected business owners (if applicable) N/A - We will send a letter to all who will be affected by this temporary closure.
- Certificate of insurance (if applicable) ~~Yes~~

Indemnity:  
 - add City as  
 - insured  
 - June 1<sup>st</sup>  
 - renewal date

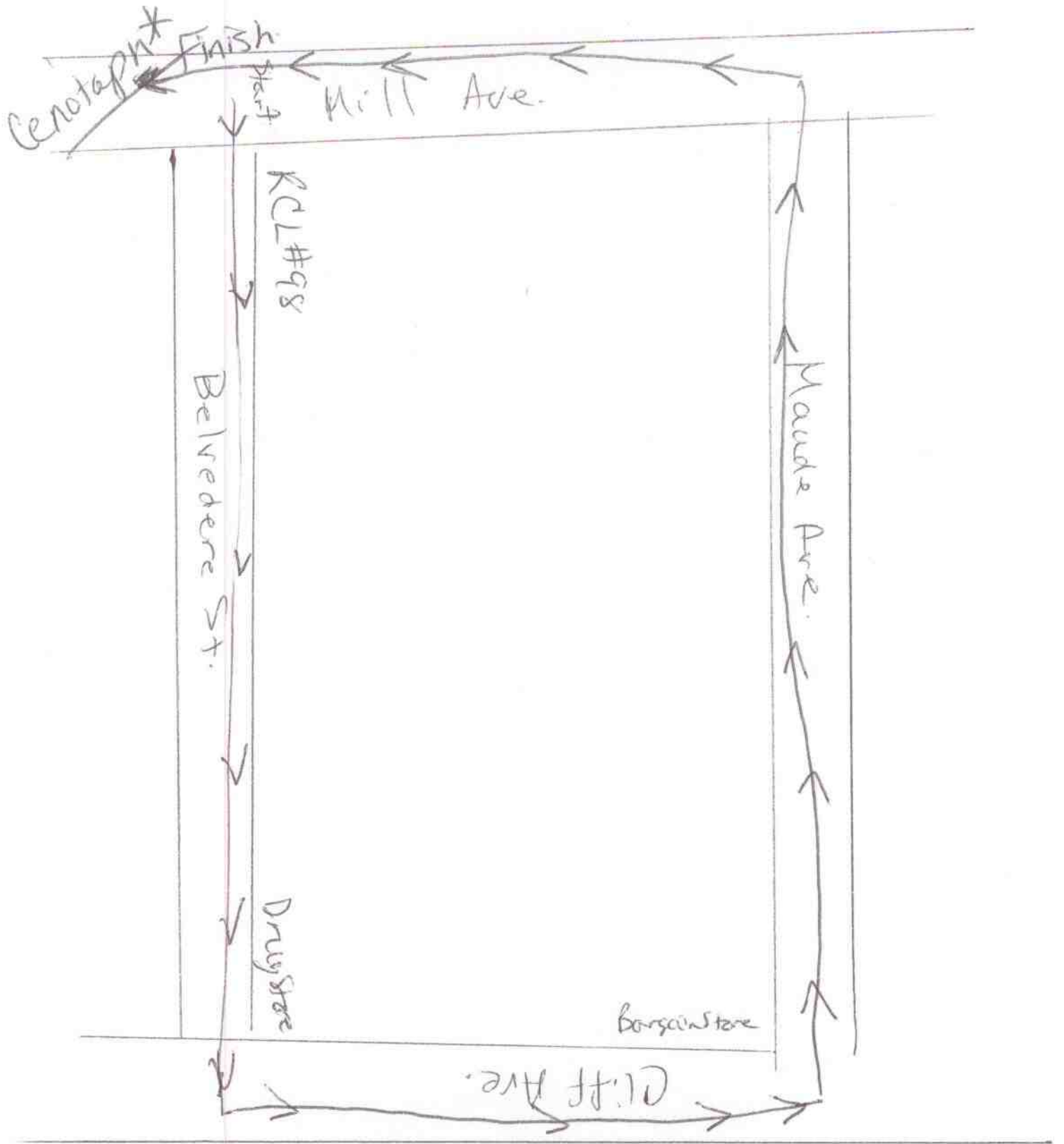
The applicant agrees to indemnify and save harmless the City of Enderby from and against any and all claims, including but not limited to harm, damage, injury, or loss to body or property caused by, arising from, or connected with any act or omission of the applicant or any agent, employee, customer licensee or invitee of the applicant, and against and from all liabilities, expense costs and legal or other fees incurred in respect of any such claims or any actions or proceedings brought thereon arising directly or indirectly from or in connection with the property, facilities, or services of the City. The applicant will be required to obtain and keep in force throughout the period of use insurance in a form specified by the City of Enderby unless waived in writing.

Authorized Signatory 

Date May 5/14.

Do Not Complete - For Administrative Purposes		
Approved by 	Date	<u>May 8/2014</u>
Certificate of Insurance	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/> N/A
Map	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/> N/A
Petition of Affected Business Owners	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/> N/A

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April 25, 2014

City of Enderby  
619 Cliff Avenue  
PO Box 400  
Enderby, BC V0E 1V0

To Whom it May Concern:

The Royal Canadian Legion, Branch #98, Enderby requests a temporary Road Closure on June the 27<sup>th</sup>, 2014 from 6:00 pm to 7:00 pm.

Location of closure to be from Mill Avenue on Belvedere Street to Cliff Avenue, along Cliff Avenue to Maude Street and down Maude Street to Mill Avenue to the Cenotaph for our Candlelight Walk to honour the Korean War Veterans and the Aboriginal Veterans. We will also be laying wreaths at that time. We will make sure that vehicles can turn onto Old Vernon Road from the Bridge.

Thank you in advance for your cooperation.

Kim Foster  
Office Administrator for Dee Corea-Jacobson  
Treasurer – RCL Branch #98

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City Hall has original on letterhead.

98





The Royal Canadian Legion #98

**ENDERBY**

PO Box 514

909 Belvedere Street

Enderby, BC V0E 1V0

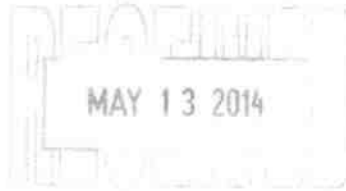
(250) 838-7283

Fax: (250) 838-7235

Email: [enderbylegion@gmail.com](mailto:enderbylegion@gmail.com)

Website: [www.enderbylegion.com](http://www.enderbylegion.com)

Corporation of The  
City of Enderby



May 9, 2014

City of Enderby  
619 Cliff Avenue  
PO Box 400  
Enderby, BC V0E 1V0

To The Enderby City Council,

The Royal Canadian Legion, Branch #98, Enderby would like to thank you for volunteering your time to our Easter Ham & Turkey Meat Draw held on Saturday April 12<sup>th</sup>, 2014. We very much appreciate your help and hope that you may consider doing this again in the future.

Sincerely,

The Royal Canadian Legion Executive  
Branch #98

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Agenda



May 7, 2014

Her Worship Howie Cyr  
Mayor of the City of Enderby  
Box 400  
Enderby BC V0E 1 V0

Dear Mayor Cyr and Councillors:

I am writing to follow-up on the Honourable Suzanne Anton's letter of May 2, 2014, regarding the province-wide Earthquake Preparedness Consultation, chaired by Mr. Henry Renteria (the Chair), former director of California's Office of Emergency Services. The goal of this initiative is to develop recommendations for government on improving British Columbians' preparedness for a disastrous seismic event (See attached Backgrounder document).

A cornerstone of this process will be engagement of local authorities and First Nations through meetings in selected communities between May and July 2014. The goal of these meetings will be to provide the Chair with an opportunity to cooperatively identify top priority issues and recommendations with respect to catastrophic earthquake preparedness. A list of questions which will be used to stimulate discussions during these meetings is attached.

It is worth noting that many coastal communities have already provided extensive valuable feedback to Emergency Management British Columbia (EMBC) regarding earthquake and tsunami preparedness issues and priorities. Most recently, the 2014 Community Earthquake and Tsunami Fora served to highlight the continued need for individual awareness and ongoing preparedness efforts. Specific feedback from these fora, and from previous engagement on this issue, has already been provided by EMBC to the Chair, to help inform further discussion.

Attached is a schedule of upcoming Earthquake Preparedness Consultation meetings in communities. I encourage you to arrange for representation at the meeting closest to your community, and to provide feedback as the consultation process unfolds.

Each meeting will include:

1. An introductory briefing on the Earthquake Preparedness Consultation.
2. Group (and/or small group) discussion beginning with the questions attached.
3. A summary of top issues/recommendations.

.../2

Ministry of Justice

Office of the Assistant Deputy Minister  
Emergency Management BC

Mailing Address:  
PO Box 9201 STN PROV GOVT  
Victoria BC V8W 9J1

Location:  
Block A - Suite 200  
2261 Keating X Road  
Saanichton BC V8M 2A5  
Telephone: 250 952-5013  
Facsimile: 250 952-4871

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Her Worship Howie Cyr  
May 7, 2014  
Page 2

Please note that in the Capital Regional District, Metro Vancouver, and in the Fraser Valley Regional District, separate meetings have been provided for senior officials/senior representatives due to the large number of expected participants.

RSVPs including name, title, and the specific meeting to be attended, can be sent to the following e-mail: ([earthquake.consultation@gov.bc.ca](mailto:earthquake.consultation@gov.bc.ca)). Please refer to the attached schedule for the maximum number of representatives per organization, and the RSVP deadline for each meeting. If space permits, EMBC staff will contact you to identify additional representatives you may wish to include.

Local authority and First Nations representatives unable to attend at a scheduled community session are encouraged to:

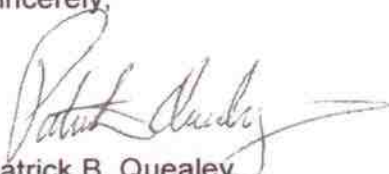
- a) Provide written responses to the attached guiding questions, or submit any other applicable input through [earthquake.consultation@gov.bc.ca](mailto:earthquake.consultation@gov.bc.ca) or,
- b) Contact the EMBC project lead, Mr. Cameron Lewis (250-952-5040 or [cameron.lewis@gov.bc.ca](mailto:cameron.lewis@gov.bc.ca)) to discuss alternative means of providing feedback.

Any questions regarding this initiative can also be directed to Mr. Lewis.

Preparing British Columbia for a catastrophic earthquake and/or tsunami is a priority activity for EMBC. I look forward to your input as we collectively and jointly work to enhance our preparedness.

Thank you for your support.

Sincerely,



Patrick B. Quealey  
Assistant Deputy Minister

pc: Mr. Tate Bengtson, Chief Administrative Officer

Attachments:

- Earthquake Preparedness Consultation Backgrounder
- Community Meeting Schedule
- Earthquake Preparedness Consultation: Discussion Questions



## Earthquake Preparedness Consultation 2014 Backgrounder

On March 25, 2014, the Auditor General of British Columbia released the report titled "Catastrophic Earthquake Preparedness" which focuses on Emergency Management BC's (EMBC's) planning and reporting with respect to this eventuality. The report includes nine recommendations to government. The Ministry of Justice has accepted all nine of the Auditor General's recommendations and action is being taken to address the recommendations. (See the recommendations and the Ministry of Justice's responses in the Auditor General's full report <http://www.bcauditor.com/pubs>).

However, it is worth noting that the Auditor General's report focuses only on one part of British Columbia's emergency management system – EMBC. In British Columbia, emergency management is a shared responsibility between the public, all levels of government, and numerous stakeholders. Thus, enhancing British Columbia's preparedness for a catastrophic earthquake will necessarily involve all parties.

On March 11, 2014, it was announced that during the April to July timeframe, there will be extensive consultation with British Columbia stakeholders regarding issues, priorities, and opportunities in the area of catastrophic earthquake preparedness. These consultations will culminate in a report, with recommendations, to the BC Government by the end of the year. Mr. Henry Renteria (the Chair), former Director of California's Office of Emergency Services, will lead this consultation.

The following link provides a news release and project Terms of Reference, etc: (<http://www.newsroom.gov.bc.ca/2014/03/earthquake-consultation-to-improve-public-safety.html> ). Please feel free to share this news release and the terms of reference with other interested stakeholders.

Work is currently underway to identify the specific stakeholders that the Chair will reach out to. Geographically, the Earthquake Preparedness Consultation (the Consultation) will be focused on areas at highest risk for catastrophic earthquake, but input from stakeholders across BC is welcomed.

The Consultation is just one line of effort within EMBC that is contributing to enhanced preparedness for a catastrophic earthquake. There are essentially three lines of enhanced effort in this regard, in addition to ongoing EMBC activities that contribute to catastrophic event preparedness:

1. The Consultation chaired by Mr. Henry Renteria (discussed above).
2. A public education campaign focused on earthquake preparedness, to be launched this summer. This campaign will be a joint effort between EMBC and Government Communications and Public Engagement within the provincial government. Planning for

this campaign is underway. Questions can be directed to EMBC's public education coordinator, Ms. Kim Fournier ([kim.fournier@gov.bc.ca](mailto:kim.fournier@gov.bc.ca) or 250-952-4914).

3. Development of a specific long term plan for enhancing catastrophic earthquake preparedness in BC. This represents a continuation of EMBC's planning efforts and is being incorporated as a key goal in EMBC's overall Strategic Plan (Spring 2014).

With respect to #1 above, the Consultation, EMBC and the Chair are currently in the process of arranging for meetings and other stakeholder feedback opportunities. Questions or suggestions can be directed to the EMBC project lead, Mr. Cameron Lewis (250-952-5040 or [Cameron.Lewis@gov.bc.ca](mailto:Cameron.Lewis@gov.bc.ca)).

Earthquake Preparedness Consultation: COMMUNITY SESSIONS – Locations and Venues

May – July 2014

Date	Time	Location	Venue	Groups	Size	RSVP by		
May	27	Tues	1:00pm - 3:00pm	Nelson/ Revelstoke/ etc.	Conference Call	Local Govt & First Nations staff reps.	Four (4) representative maximum per local authority or First Nation	May 20, 2014
	28	Wed	10:00am - noon	Prince George/ Ft St. John/ Fraser Ft. George/etc.	Conference Call	Local Govt & First Nations staff reps.	Four (4) representative maximum per local authority or First Nation	May 20, 2014
			1:00pm - 3:00pm	Cariboo/Bella Coola/ etc.	Conference Call			May 20, 2014
29	Thurs	10:00am - noon	Kelowna	Coast Capri Hotel 1171 Harvey Avenue, Kelowna			May 20, 2014	
June	17	Tues	2:00pm - 4:00pm	Terrace	Best Western 4553 Greig Avenue, Terrace,	Local Govt & First Nations staff reps.	Four (4) representative maximum per local authority or First Nation	May 27, 2014
	18	Wed	10:00am - noon	Prince Rupert	Prince Rupert Hotel 118 - 6th St. Prince Rupert			May 27, 2014
	19	Thurs	10:00am - noon	Queen Charlotte	Eric Ross Room Charlotte Community Centre 134 Bay Street			May 27, 2014

- RSVP to [Earthquake.Consultation@gov.bc.ca](mailto:Earthquake.Consultation@gov.bc.ca) by session RSVP date listed in table above.

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Earthquake Preparedness Consultation: COMMUNITY SESSIONS – Locations and Venues Cont.

May – July 2014

Date	Time	Location	Venue	Group	Size	RSVP by
8	10:00am - 11:30am	Nanaimo	Nanaimo Conference Centre 101 Gordon Street, Nanaimo	Local Govt & First Nations staff reps.	Four (4) representative maximum per local authority or First Nation	June 17, 2014
	3:00pm - 4:30pm	Port Alberni	Best Western Barclay Hotel 4277 Stamp Ave. Port Alberni			June 17, 2014
9	8:30am - 10:00am	Courtenay	Comox Valley Regional District 600 Comox Road, Courtenay	Local Govt & First Nations staff reps.	Four (4) representative maximum per local authority or First Nation	June 17, 2014
	3:00pm - 4:30pm	Port McNeill	Port McNeill Regional Arena 2205 Campbell Way, Port McNeill			June 17, 2014
11	8:30am - 10:30am	CRD (Morning Session)	Grand Pacific 463 Belleville Street, Victoria	Local Govt & First Nations staff reps.	Four (4) representative maximum per local authority or First Nation	June 17, 2014 Please Note: AM Session
	1:00pm - 4:00pm	CRD (Afternoon Session)	Grand Pacific 463 Belleville Street, Victoria			June 17, 2014 Please Note: PM Session
15	9:00am - noon	New Westminster	Justice Institute of BC 715 McBride Blvd, New Westminster	Local Govt & First Nations staff reps.	Four (4) representative maximum per local authority or First Nation	June 24, 2014
16	9:00am - noon	Abbotsford	Ramada Plaza Abbotsford Hotel & Conference Centre			June 24, 2014
21	10:00am - noon	Chilliwack	Fraser Valley Regional District 45950 Cheam Avenue, Chilliwack	Local Govt & First Nations staff reps.	Three (3) representative maximum per local authority or First Nation	June 30, 2014
22	10:00am - noon	Burnaby	Metro Vancouver 4330 Kingsway, Burnaby			June 30, 2014

• RSVP to [Earthquake.Consultation@gov.bc.ca](mailto:Earthquake.Consultation@gov.bc.ca) by session RSVP date listed in table above.

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## 2014 Earthquake Preparedness Consultation

### Discussion Questions

The Earthquake Preparedness Consultation, initiated by the provincial government, is collecting input from stakeholders across British Columbia regarding how British Columbians can become more prepared for a catastrophic earthquake.

The Chair, Mr. Henry Renteria, will be providing recommendations to the provincial government, by December 31, 2014, based on this stakeholder input. While these recommendations will be delivered to the provincial government, preparedness is a shared responsibility between all stakeholders, including the public, all levels of government, non-governmental organizations, and the private sector. Thus, these recommendations are expected to consider actions by a wide variety of agencies and stakeholders.

The questions below are intended to provide a starting place for a discussion of top challenges, opportunities, and priorities with respect to British Columbia's earthquake preparedness.

1. In your opinion, is your community adequately prepared for a catastrophic earthquake?
  - a. If not, what would you say are the top three preparedness gaps or challenges?
  - b. What specific recommendations would you offer to address these gaps or challenges?
  
2. In your opinion, is British Columbia as a whole adequately prepared for a catastrophic earthquake?
  - a. If not, what would you say are the top three preparedness gaps or challenges?
  - b. What specific recommendations would you offer to address these gaps or challenges?

3. Given the importance of individual and family preparedness for disasters such as a catastrophic earthquake, are there specific recommendations you could offer for increasing the public's preparedness?
  
4. Are there key policy issues which should be addressed by governments as part of enhancing British Columbians' preparedness for a catastrophic earthquake? (e.g. legislative or regulatory changes, changes to land use planning policies, changes to financial compensation provisions, industry regulation, etc.). If so, what are the top issues, and what recommendations would you offer?
  
5. How can alignment of disaster preparedness plans and activities between different governments, agencies and stakeholders be enhanced?
  
6. To ensure that progress and successes to date on enhancing earthquake preparedness in British Columbia are recognized, are there particular projects or best practices that should be acknowledged and built upon?
  
7. Is there additional information or perspective you would like to bring to the Chair's attention?



Agenda

**Tate Bengtson**

---

**From:** Brent Watson [BWatson@vernon.ca]  
**Sent:** May-14-14 12:45 PM  
**To:** Will Pearce; 'Trevor Seibel'; Greg Betts; 'Tom Kadla'; Melinda Stickney; 'Tate Bengtson'; 'rob.smailes@rdno.ca'  
**Cc:** 'Ron Baker'; Helen Sinclair; Hollis Fraser  
**Subject:** Province of BC Invitation to Elected Officials -- Earthquake Preparedness

Good Afternoon:

I just wanted to let the Intermunicipal Advisory Board know that NOEM staff will be in attendance at the May 29<sup>th</sup> Earthquake Preparedness consultation meeting in Kelowna. This meeting is sponsored by the Province and seeks to obtain feedback from Local Government and other stakeholders as to how early warning and preparedness for seismic events can be improved.

Letters of invitation are being sent out to Mayors and elected officials, so I just wanted to let you know that we have it covered.

If you have any specific concerns or requests, please let me know.

Thanks very much,

Brent

**Brent Watson, PhD**  
**Vernon Fire Rescue Services**  
Office: (250) 550-3246  
Satellite: (011) 8816 514 32765  
[bwatson@vernon.ca](mailto:bwatson@vernon.ca)



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agenda

# INFORMATION BULLETIN

REGIONAL DISTRICT OF NORTH OKANAGAN

9848 Aberdeen Road  
Coldstream, BC V1B 2K9

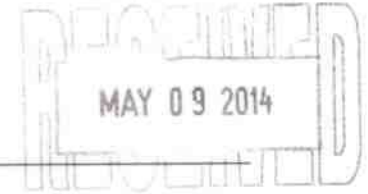
Corporation of The  
City of Enderby

## FOR IMMEDIATE RELEASE

DATE: May 9, 2014

CONTACT: Dale Danallanko, RDF Operations Manager

PHONE/EMAIL: 250-550-3744 / dale.danallanko@rdno.ca



## Changes to Glass Recycling in the North Okanagan

Effective May 19<sup>th</sup>, 2014, recycling is changing in the North Okanagan. The new Multi-Material British Columbia (MMBC) Printed Paper and Packaging (PPP) Recycling program will begin. The new recycling program consists of a residential curbside collection program, and a depot drop-off program. The MMBC depot drop-off program includes collection of:

- plastic bags and overwrap
- plastic foam packaging
- glass bottles and jars.

The two MMBC depots for drop off in the North Okanagan are Interior Freight and Bottle Depot and Venture Training Centre.

The public is advised that the Regional District of North Okanagan (RDNO) will be removing glass collection bins from the following locations at the end of May 2014:

- Enderby Bottle Depot
- Armstrong Bottle Depot
- Chasers Bottle Depot.

The last day of collection for glass bottles and jars at these depots will be Tuesday, May 27, 2014.

The RDNO will continue to accept glass bottles and jars at each of its Recycling and Disposal Facilities and Transfer Stations.

The RDNO wishes to thank the owners of the Enderby, Armstrong, and Chasers Bottle Depots for working with the public to separate glass bottles and jars. Glass recycling has been one of the cornerstones of most recycling programs, and the RDNO wishes to thank the public for their efforts to divert material from the waste stream.

For more information about the new MMBC PPP Recycling Programs go online to [www.recyclinginbc.ca](http://www.recyclinginbc.ca). For information on the services RDNO will continue to offer, please call 250-550-3700.

-30 -

MEMBER MUNICIPALITIES:  
CITY OF ARMSTRONG  
DISTRICT OF COLDSTREAM  
CITY OF ENDERBY

VILLAGE OF LUMBY  
TOWNSHIP OF SPALLUMCHEEN  
CITY OF VERNON

ELECTORAL AREAS:  
"B" - SWAN LAKE  
"C" - B.X. DISTRICT  
"D" - LUMBY (RURAL)

"E" - CHERRYVILLE  
"F" - ENDERBY (RURAL)

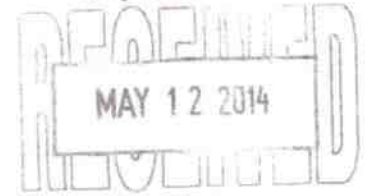
109

Agenda

May 12, 2014

Re: Multi Material British Columbia

Corporation of the  
City of Enderby



Dear Mayor Cyr and Councilors:

I am writing this letter in regards to the demise of our Blue Bag recycling program. I am not in favour of the "new system" and feel "if it is not broken, why fix it". The Liberals have once again gone into privatization and is force feeding the public without consultation.

After looking over the information on MMBC and the type of stuff they are going to pick up. I am happy to see that they are going to take Styrofoam. I have noticed that they are not going to take plastic of any kind. At our house and maybe most others, there is a lot of plastic being used for various reasons. Where is this plastic going to go? Hopefully not in the garbage and into the landfill or dumped in the forests and up the back roads.

I am asking if City or MMBC could install a dumpster over by the bottle depot, beside the one that is there for glass, specifically for plastic?

I am sure this would be a great help to all the citizens of Enderby and the surrounding area.

Yours Truly,

(Mrs.) Linda Prevost



*Agenda*



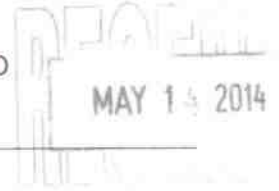
# MEDIA RELEASE

REGIONAL DISTRICT OF NORTH OKANAGAN  
9848 Aberdeen Road  
Coldstream, BC V1B 2K9

## FOR IMMEDIATE RELEASE

DATE: May 14, 2014  
MEDIA CONTACT: Anthony Kittel, Regional Growth Strategy Coordinator, RDNO  
PHONE/EMAIL: 250-550-3750 / rgs@rdno.ca

Corporate  
City of Lumb...



### The North Okanagan Agricultural Plan Seeks Public Input

The Regional District of North Okanagan, with assistance from Upland Consulting, is currently developing a Regional Agricultural Area Plan in partnership with the Investment Agriculture Foundation of British Columbia. An agricultural area plan identifies opportunities to strengthen farming, and to contribute to food production and regional sustainability. The Regional District's goal is to complete the Agricultural Area Plan by the summer of 2015.

The Plan will identify key issues and opportunities, make recommendations for future actions and include a practical strategy for implementation. This is a unique opportunity for North Okanagan residents to contribute to a regional agricultural policy document that will guide future decision making related to local agriculture and food production.

As part of the consultation process, the steering committee is interested in hearing from a broad array of agricultural producers, consumers, community groups, associations, businesses and individuals.

The Regional District is holding two public open houses where producers and residents meet regularly, the Vernon Farmers' Market on May 22 and the Armstrong Farmers' Market on May 24 to discuss the Plan process and provide a opportunity for residents to tell us how they see the future of agriculture and food production in the region.

In addition to a series of community open houses, the Plan public process will include two online surveys – one for producers and one for the public. Collectively, this public input will be used in the creation of a background report that will provide greater insight into agricultural production, top of mind issues, suggested solutions and the overall agricultural vision for the North Okanagan. All of this public input will be considered during the development of the Plan and there will be another opportunity in the Fall for the public to get involved.

The survey can be completed online at [www.rdno.ca/agplansurvey](http://www.rdno.ca/agplansurvey) or use a paper form that is available at the Regional District office, municipal offices or at the May 22 and May 24 Open Houses.

For more information on the North Okanagan Agricultural Area Plan please visit: [www.rdno.ca](http://www.rdno.ca) or call 250-550-3700.

MEMBER MUNICIPALITIES:  
CITY OF ARMSTRONG  
DISTRICT OF COLDSTREAM  
CITY OF ENDERBY

VILLAGE OF LUMBY  
TOWNSHIP OF SPALLUMCHEEN  
CITY OF VERNON

ELECTORAL AREAS:  
"B" – SWAN LAKE  
"C" – B.X. DISTRICT  
"D" – LUMBY (RURAL)

"E" – CHERRYVILLE  
"F" – ENDERBY (RURAL)

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